



OGDEN CITY CORPORATION

INVITATION TO BID

2321 & 2343 Quincy Ave. Ogden, UT



Prepared by Jeremy Smith
Ogden City Community Development
2/29/24

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INVITATION TO BID
2321 & 2343 Quincy Ave

ADVERTISEMENT

Ogden City is accepting sealed bids from Contractors interested **in the construction of two new single-family homes located at 2321 & 2343 Quincy Avenue, Ogden, Utah.** All work must meet current industry standards and all federal, state and local rules and regulations.

Bid information packets may be downloaded from the Ogden City Website located <https://www.ogdencity.com/264/Purchasing>.

Bidders are responsible for securing any and all addenda issued.

Licensed contractors submitting bids must be able to comply with insurance and bonding requirements and have experience with building multiple single-family homes.

Sealed bids shall be submitted to the Purchasing Office, c/o the 2nd Floor Information / Constable Desk, 2549 Washington Blvd., Ogden, UT by **Thursday, March 28st, 2024, no later than 1 PM.** At which time, bids will be opened and read aloud at the 7th Floor Conference room of the same address. **LATE BIDS WILL NOT BE ACCEPTED.**

The City reserves the right to accept or reject any bids that best serve its convenience and/or is found to be in the best interest of the City.

Ogden City encourages and welcomes bids from small, local, women and minority owned businesses and other disadvantaged business enterprises.

Ad Published: March 2 & 9, 2024

OGDEN CITY CORPORATION
INVITATION TO BID
2321 & 2343 Quincy Ave – New Construction

I. SCOPE OF WORK

Contractor will be responsible for furnishing and installing the equipment, facilities, services, and appurtenances thereto as included in the Contract Documents. The work generally includes, but is not limited to, the following: the construction of two new single-family homes located at 2321 & 2343 Quincy Avenue, Ogden, Utah.

Contractor will be responsible for:

- Review of construction or specification documents prior to submitting a bid.
- Competitively bidding required work, negotiating, and contracting with subcontractors to accomplish the work, as applicable.
- Completing the Project on time and within budget per the plans and specifications.

THE ATTACHED DOCUMENTS ARE COPYRIGHT PROTECTED AND ARE THE PROPERTY OF OGDEN CITY AND MAY NOT BE REPRODUCED FOR ANY OTHER PROJECT UNLESS WRITTEN AUTHORIZATION IS OBTAINED.

PROJECT MANAGER: Sean Mathis

Ogden City Community Development

Desk: 801-629-8935

II. BID CONTENT

Ogden City will accept bids from contractors that are capable of providing all of the work described in the drawings and specifications. Applicants shall include qualifications for work set forth in the Scope of Work for which it proposes to provide services. Each bid must include, at a minimum, the following information:

Only complete submittals will be reviewed and considered. A complete submittal will contain the following:

1. Bid Security
2. Complete Request for Qualification
3. Completed Cost Breakdown based on building plans and allowances and specifications.- Using Template included in Bid Package
4. Estimated Construction Schedule
 - Home to be built on a 180-day schedule. (Include fencing and landscaping in schedule).
 - Must be able to complete / pass final inspection in 180 days from commencement of construction of each home (including start and completion date).

III. BID REVIEW AND ASSESSMENT

Bids will be reviewed based on the requirements indicated in Section II. Ogden City Corporation shall have the right to verify the accuracy of all information submitted and to make such investigation, as it deems necessary to determine the ability of a prospective Contractor to perform the obligations in the response. Ogden City reserves the right to reject any response where the available evidence or information does not satisfy Ogden City that the prospective Contractor is qualified to carry out properly the obligations of the response, is a person or firm

of good reputation or character for strict, complete, and faithful performance of business obligations, or if the prospective Contractor refuses to cooperate with and assist Ogden City in the making of such investigation.

IV. INSURANCE REQUIREMENTS

The awarded Contractor shall procure and maintain for the duration of the contract the required insurance against claims for injuries to persons or damages to property, which may arise from or in connection with the performance of this agreement. The Contractor shall pay the cost of such insurance.

a. The amount of insurance shall not be less than:

- i) Commercial General Liability: Minimum of \$3,000,000 in general aggregate with \$1,000,000 for each occurrence. Policy to include coverage for operations, contractual liability, personal injury liability, products/completed operations liability, broad-form property damage (if applicable) and independent contractor's liability (if applicable) written on an occurrence form.
- ii) Business Automobile Liability: \$1,000,000 combined single limit per occurrence for bodily injury and property damage for owned, non-owned and hired autos.
- iii) Workers' Compensation and Employer's Liability: Worker's Compensation limits as required by the Labor Code of the State of Utah and employer's liability with limits of \$1,000,000 per accident.

b. Each insurance policy required by this Agreement shall contain the following clauses:

- i) "This insurance shall not be suspended, voided, canceled, reduced in coverage or in limits except after thirty days prior written notice by certified mail, return receipt requested, has been given to the Ogden City Corporation".

- ii) "It is agreed that any insurance or self-insurance maintained by Ogden City Corporation, its elected or appointed officials, employees, agents and volunteers shall be excess of Contractor's insurance and shall not contribute with insurance provided by this policy."
- c. Each insurance policy required by this Agreement, excepting policies for Workers' Compensation, shall contain the following clause in a separate endorsement:
 - i. "Ogden City Corporation, its elected and appointed officials, employees, volunteers and agents are to be named as additional insureds in respect to operations and activities of or on behalf of, the named insured as performed under Agreement with Ogden City Corporation."
- d. Insurance is to be placed with insurers acceptable to and approved by Ogden City Corporation. Contractor's insurer must be authorized to do business in Utah at the time the license is executed and throughout the time period the license is maintained, unless otherwise agreed to in writing by Ogden City Corporation. Failure to maintain or renew coverage or to provide evidence of renewal will be treated as a material breach of contract.
- e. City shall be furnished with original certificates of insurance and endorsements effecting coverage required within, signed by a person authorized by that insurer to bind coverage on its behalf. All certificates and endorsements are to be received by the city before work begins on the premises.
- f. City reserves the right to require complete, certified copies of all required insurance policies at any time.
- g. Any deductibles or self-insured retentions must be declared to and approved by the City. At the option of the City, either: the insurer shall reduce or eliminate such deductibles or self-insured retentions as respect to the City, their elected and

appointed officials, employees, agents, and volunteers; or Contractor shall provide a financial guarantee satisfactory to the City guaranteeing payment of losses and related investigations, claim administration and defense expenses.

h. Contractor shall include all its contractors as insured under its policies or shall furnish separate certificates and endorsements for each contractor. All coverages for Contractor's contractors shall be subject to all the requirements stated herein.

i. Nothing contained herein shall be construed as limiting in any way the extent to which Contractor may be held responsible for payments of damages to persons or property resulting from the activities of Contractor or its agents, employees, invitees, or contractors upon the Premises during the License Period.

Contractor's Obligation to Verify Employment Status: Contractor shall register and participate in the Status Verification System and comply with Utah Code Ann. Section 63G-11-103 of the Utah Identity Document and Verification Act.

V. BONDING REQUIREMENTS

Submission of a Bid constitutes a promise that the Bidder will enter the Contract Documents in the form presented in the Contract Documents. Bidders should carefully examine all Contract Documents, including the required Bonds and insurance to be provided by the Bidder.

A. BID SECURITY

- a) Amount of Bid Security: A Bid Security must accompany each Bid. The total amount of the Bid on which Bid security is to be based shall be the sum of all items of the Bid constituting the maximum amount of the possible award to the Bidder. The Bond amount must equal at least five (5) percent of the total amount of the Bid. The Bid Security may be in the form of a Cashier's check or Bid Bond. No other form of Bid Security will be accepted.

- b) Bid Bond: The Bond shall accompany and be attached to the Bid and shall be issued by a surety company authorized to do business in the State of Utah. The Bond shall guarantee that the Bidder, if awarded the work, will promptly enter into the Construction Contract to perform the work in the manner required by the Contract Documents.
- c) Cashier's Check: If a cashier's check is used in lieu of a Bid Bond, the cashier's check must be drawn on a bank doing business in the State of Utah and made payable to Ogden City Corporation. Note that personal or company checks are not acceptable as bid security. If a cashier's check is used in lieu of a Bid Bond or if the Bid Bond does not specifically so provide, a certificate from an approved surety company guaranteeing execution of performance and payment bonds in the full amount of the bid must accompany the bid.
- d) Return of Bid Security: Owner will return Bid security to Contractor within seven (7) days after receipt of the Construction Contract by Ogden City Purchasing Division. Bid Bonds and cashier's checks of the lowest three Bidders will be held until the Construction Contract is awarded and a signed copy received by Ogden City Purchasing Division, or all bids have been rejected. All other bid securities shall be returned following the bid opening. The liability of Owner in regard to the checks shall be limited only to the return of the checks.
- e) Default: In the event of failure or refusal of the Bidder to enter into the Construction Contract and the delivery to the Owner a Performance Bond, Payment Bond and any other Bonds or documents required by the Contract Documents after Notice of Intent to Award by the Owner, the Bidder forfeits the sum of the Bid Bond or cashier's check as liquidated damages to the Owner.

B. CONTRACT SECURITY – PAYMENT, PERFORMANCE, AND OTHER BONDS

- a) Prior to OWNER executing the Agreement, CONTRACTOR shall file with the OWNER a good and sufficient performance Bond and a payment Bond, each in the sum of not less than 100 percent of the Contract Price.

- b) The Bonds shall be executed by the CONTRACTOR and secured by a company duly and regularly authorized to do a general surety business in the State of Utah and named in the current list of Companies holding Certificates of Authority as Acceptable Sureties on Federal Bonds and as Acceptable Reinsuring Companies as published in current Circular 570 (amended) by the Audit Staff Bureau of Accounts, U.S. Treasury Department, with an underwriting limitation equal to or greater than the Contract Price which the Bond guarantees or with a current "A-" rating or better in A.M. Best Co., Inc.'s, Best Insurance Reports, Property and Casualty Edition.
- c) Said Bonds shall guarantee the faithful performance of the Construction Contract by the CONTRACTOR and payment of labor and materials. They shall inure by their terms to the benefit of the OWNER. Neither this nor any other provision requiring a performance Bond shall be construed to create any rights in any third-party Claimant as against the OWNER for performance of the Work under the Construction Contract.
- d) If the surety on any Bond furnished by CONTRACTOR is subject to any proceeding under the Bankruptcy Code (Title 11, United States Code) or becomes insolvent or its right to do business is terminated in the State of Utah or it ceases to meet the requirements of this Article, CONTRACTOR shall, within 15 days thereafter, substitute another Bond and surety, both of which must be acceptable to OWNER.

VI. GENERAL TERMS AND CONDITIONS

- a) Qualified respondents shall be Licensed Contractors in the State of Utah, for this type of work, and who meet Ogden City's insurance and bonding requirements, and have experience with all work defined in the scope of work.
- b) For projects that are security-sensitive in nature, Ogden City reserves the right to conduct a criminal background check of each person who will be providing services in response to this Invitation to Bid. If requested, Contractor shall submit a BCI Criminal History Report dated within 30 days of response to RFP for each

employee who will be on-site, that shows “Criminal History Verified” and has Arrest History attachments. Employees who have any convictions on their BCI record may be subject to further review and approval by Ogden City. Ogden City may reject any response to this RFP that involves services from a person or entity that Ogden City determines is unfit or unqualified to fulfill the requirements of this bid.

- c) All work must meet current industry standards including all Federal, State and local rules and regulations.
- d) Ogden City reserves the right to request clarification of information submitted, and to request additional information from any proposer.
- e) Ogden City will make every effort to ensure all offerors are treated fairly and equally throughout the entire advertisement, review, and selection process. The procedures established herein are designed to give all parties reasonable access to the same basic information.
- f) Cost of Developing Proposals – All costs related to the preparation of proposals and any related activities are the sole responsibility of the offeror. Ogden City assumes no liability for any costs incurred by offerors throughout the entire selection process.
- g) Proposal Ownership - Once submitted, all proposals, including attachments, supplementary materials, addenda, etc. become the property of Ogden City and will not be returned to the offeror.
- h) Conflict of Interest - No member, officer, or employee of Ogden City, during his or her tenure shall have any interest, direct or indirect, in this contract or the proceeds thereof, except as permitted by Ogden City policy.
- i) Non-Collusion - Offeror guarantees the proposal is not a product of collusion with any other offeror and no effort has been made to fix the proposal price or any offeror or to fix any overhead, profit or cost estimate of any proposal price.
- j) Ogden City reserves the right to accept or reject any submittal as it best serves convenience and/or is found to be in the best interest of the City.
- k) Ogden City reserves the right to reject any irregular submission and reserves the right to waive any irregularity in submissions.

- I) Ogden City encourages and welcomes bids from small, local, women and minority owned businesses and other disadvantaged business enterprises.

VII. GOVERNING INSTRUCTIONS

This ITB will constitute the governing document for submitting Bids and will take precedent over any oral representations.

VIII. SUBMITTAL & BID OPENING

A. Submittal: Thursday March 28, 2024, no later than 1 PM; firms shall submit two (2) copies of all documents required in one sealed envelope addressed to Ogden City's Purchasing Office.

Refer to Bid Content section for the required documents. On the envelope, indicate your firm's name and the "2321 & 2343 Quincy Avenue- New Home Construction".

Submit Bid To:

Ogden City Corporation
c/o 2nd Floor Information / Constable Desk
ATTN: Purchasing Office
"2321 & 2343 Quincy Avenue- New Home Construction"
2549 Washington Blvd.
Ogden, UT 84401

LATE BIDS WILL NOT BE ACCEPTED.

If the sealed bid is submitted by mail or other delivery service, it must be received prior to the submission deadline.

The bid may also be hand-carried to the 2nd Floor Information / Constable Desk at the same address.

No facsimile or email transmittals will be accepted.

It is the sole responsibility of those responding to this Invitation to Bid to ensure that their submittal is made to the correct location and in compliance with the stated date and time. City offices are closed on holidays.

Once submitted, all bids, including attachments, supplementary materials, addenda, etc. become the property of Ogden City and will not be returned to the offeror. These are considered public records unless protected within [Utah Code 63G-2-1.](#)

B. Bid Opening: Shortly after the deadline, bids will be opened and read aloud at the 7th Floor Conference Room located at the same address.

IX. CONTACT INFORMATION

For any questions related to this ITB, please contact the Ogden City Purchasing Office via email purchasing@ogdencity.com or at (801) 629-8742.

The question-and-answer period ends at **1PM on Tuesday March 26, 2024.**

Please check the City's Purchasing webpage for any published Q&A or Addenda document(s) that might have already addressed your questions or concerns - [https://www.ogdencity.com/264/Purchasing.](https://www.ogdencity.com/264/Purchasing)

Thank you for your interest in doing business with Ogden City!

Allowances & Specifications

Effective Date: February 2024

Project Address: 2321 Quincy Ave- LOT 1

These specifications are exclusively for the above-referenced proposed residences and in conjunction with the plans are contractual construction documents. All items specified or not specified herein shall meet or exceed the International Residential Code (IRC). OGDEN CITY shall reserve the right to change these specifications due to product availability. Contractor is responsible for pulling and paying for all permits related to construction of home including: Building Permits, SWPPP permits, Utility Permits, etc.

General Description of Improvements for each residence:

Average Square footage of living area: 1717

Average Square footage of unfinished basement 880

Square footage of garage: 484

Note: All square footage measurements are approximate and to be verified by Contractor

Permits & Fees

Please use the allowance of \$5,000 for permits and fees. This estimated amount will include impact fees, SWPPP, and Building Permit fees for the house. Contractor will only be reimbursed for actual permit fees. Contractor will not be able to draw remaining balance for other purposes.

If fees are greater than \$5,000, OGDEN CITY will accept change order compensating Contractor for actual permit fees.

Site Work

Utilities

Water	Ogden City
Sewer	Central Weber
Electric	Rocky Mountain
Gas	Dominion

New Water and sewer lateral stubs are back of city sidewalk for tie in. No street cuts necessary. Contractor is responsible for repairing and replacing any sidewalk etc. that are damaged due to the utility connection.

Contractor is also responsible for coordinating installation of gas and electric utility connections.

Contractor will need to California cut street gutter for drive approach. Obtain right of way permit from Ogden City and install drive approach per Ogden City specs. City sidewalk through drive approach will need to be removed and replaced with 6" thick per Ogden City Engineering specs.

Setback and Grading

- Setbacks per site plan.
- Grade as required for proper drainage (per site plan).
- Landscape –(see site plan)
Yards to be completely landscaped including front park strip.
- Fully automated sprinkler irrigation system.
- Cement curbing included in front yard flowerbeds (approx. 30 linear feet).

Basement

- ADU ready unfinished basement – Install all footings, foundations, window bucks, door bucks, and bearing walls per plan. Provide plumbing stubs for future Kitchen and bathroom. Provide basic electrical required by code with keyless lighting and adequate distribution panel for future basement expansion. All other interior basement improvements to be done by others.

Fencing

- Install new 6' high black chain link fencing per site plan.

Framing

Exterior and Interior Walls

- Constructed per plan
- Lap siding to be 8" LP Smart Side over 15# felt or comparable material.
- Exterior trim work to be "LP -Smart Siding" or comparable.
- Gable treatment to be James Hardie scalloped-style siding.
- Siding and trim paint colors to be selected and approved by OGDEN CITY CED prior to construction.

Rafter and Floor Joists

- Constructed per plan.

Porches

- Front Porch: Concrete cap per plan with concrete sealer. Porch cap to extend 3" past foundation.
- Back Porch: Wood framed platform and stair stringers completely covered in Trex decking materials or comparable product. Metal railing if required by code.



Thick Railing – 1.5"- 2.5" Rails

Cornice

- Constructed per plan

Windows

- Vinyl-framed, double pane with Low-E glass, sized per plan.
- Frame Color – Almond – (to be verified by Ogden city prior to ordering windows)
- $\frac{1}{2}$ screens throughout (except for fixed glass windows).
- Garage will not have any windows.

Blinds

- Located in all windows (except bathroom windows).

Type:	Levelor (or Comparable)
Style:	2" Faux Wood (PVC)
Color:	White

Exterior Doors

- Front entrance door -- 3'0"x 6'8" Fiberglass – Therma Tru entry door- model #CCA260. Verify with Ogden City at time of ordering.
- Back entry door per plan -- 3'0"x 6'8" Fiberglass-two panel per spec sheet with half-light and blinds inside of glass.
- Garage man door -- 3'0"x 6'8" Steel two panel per spec sheet.
- Garage Door – 16'0"x 8'0" aluminum door per plan with auto opener.
- All exterior doors to come pre-hung with factory weather strip and threshold.

Insulation

- Exterior walls – R-19
- R-49 blown in flat ceilings areas where accessible.
- Polycel foam all windows, corners, plumbing or electrical penetrations. (per 2006 IRC)

Roofing

- Shingles --- Architectural/Dimensional shingle.
- Warranty --- 30-year Manufacturer's Warranty.
- Color --- Weathered Wood

Soffit & Fascia

- Aluminum soffit all around. Use ventilated soffit at all eaves per code.
- Install aluminum gutters and downspouts on all drainage eaves.

Energy Requirements

Builder to follow prescriptive requirements from 2006 IEC, described in table below (5 and 4 Marine):

Table 402.1.1
Insulation and Fenestration Requirements by Component^a



CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION ^{b,e} SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^e WALL R-VALUE
1	1.20	0.75	0.30	30	13	3 / 4	13	0	0	0
2	0.65 ^j	0.75	0.30	30	13	4 / 6	13	0	0	0
3	0.50 ^j	0.65	0.30	30	13	5 / 8	19	5 / 13 ^f	0	5 / 13
4 except Marine	0.35	0.60	NR	38	13	5 / 10	19	10 / 13	10, 2ft	10 / 13
5 and Marine 4	0.35	0.60	NR	38	20 or 13+5 ^h	13 / 17	30 ^g	10 / 13	10, 2 ft	10 / 13
6	0.35	0.60	NR	49	19 or 13+5 ^h	15 / 19	30 ^g	15 / 19	10, 4 ft	10 / 13
7 and 8	0.35	0.60	NR	49	21	19 / 21	38 ^g	15 / 19	10, 4 ft	10 / 13

^a R-values are minimums, U-factors and SHGC are maximums, R-19 batts compressed into a nominal 2 x 6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.

^b The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.

^c "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulated sheathing on the interior or exterior of the home. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.

^d R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 3 for heated slabs.

^e There are no SHGC requirements in the Marine Zone.

^f Basement wall insulation is not required in warm-humid locations as defined by Figure 301.1 and Table 301.1.

^g Or insulation sufficient to fill the framing cavity, R-19 minimum.

^h "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.

ⁱ The second R-value applies when more than half the insulation is on the interior of the mass wall.

^j For impact rated fenestration complying with Section R301.2.1.2 of the *IRC* or Section 1608.1.2 of the *IBC*, maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

Millwork

Cabinets - Please provide a bid for a paint grade poplar cabinet with a Shaker style door (see photo). Cabinets will have the following specs:



Kitchen	36" Base	36" uppers w/ crown molding.
Master Bath	36" Base	30" uppers (if req'd per plan)
Secondary Bath	48" Base	30" uppers (if req'd per plan)
Utility / Linen	per plan only	
All Cabinets	Pre-finished w/ picture frame doors	Colors selected by and approved by OGDEN CITY
Hardware	Knobs, pulls, and hinges	Satin

Interior Doors and Trim

Interior Doors	6'8" Hollow core 2 panel. Sized per plan.
Door Casing	3 1/4" MDF Square edge
Window Trim	3 1/4" MDF casing with window sill on all windows
Base Trim	4 1/4" MDF Square edge
Stair Wall	N/A
Shelving	Particle Board
Closet Rods	Alloy
Wainscoting	NA



Door Style



Trim Style

HVAC

Equipment

- Energy Star rated equipment (HVAC)
- 90% efficient furnace or better, located in attic with filter change access in ceiling return air grill.
- AC
- Digital Thermostat
- Sizing, location, installation of unit, furnace, and registers as per load calculation and engineered HVAC design criteria – Must be able to provide required Manual J & D to pull building permit. All Manual J & D design fees required for permit must be included in bid.

Plumbing

Piping

- Waste and vent piping to be schedule 40 PVC.
- Includes (2) standard freeze-less hose bibs.
- Sewer line to be schedule 30 J.M. sewer pipe.

- Water Heater to be gas (1) 40 gallon.
- Washer connections to be in catch-a-drip box.
- Interior piping to be Rehau Everloc system, or equal.
- Washer Fiberglass Pan w/ Trap & Drain.
- Water line for refrigerator ice maker in water box.

Fixtures- Color - Satin

Kitchen Sink	8" deep stainless steel, double basin.
Kitchen Faucet	Moen Essie MotionSense Wave Mediterranean Satin One-Handle Pulldown Kitchen Faucet) or equal
Disposal	Insinkerator Badger I disposal 1/3 HP (or comparable)
Master bath Lavatory Faucets	Moen Brantford centerset – or comparable
Master Bath Shower	Moen Brantford (or comparable)
Master Bath Toilet	St. Thomas – white – round. (or comparable)
Secondary Bath Lav. Faucets	Moen Brantford centerset –or comparable
Secondary Bath Tubs	White porcelain on steel tub
Secondary Bath Tub/Shower	Moen Brantford head, valve, wall faucet – or comparable
Secondary Bath Toilet	St. Thomas – white – round. (or comparable)
Bathroom Sinks	Oval, - White

Appliances

Range	30" Free standing LG Electric Range LREL6321S– Glass Top - Stainless
Microwave	Built in Over range – Stainless – LG LMV1683ST
Dishwasher	Built in – Stainless – LDF5545ST LG Built In Dishwasher w/ stainless tub

Electrical

Wiring

- House and Garage: Wire per plan and National Electrical Code, copper "Romex" type and aluminum feeders.

Fixtures

- Switch Type --- Toggle
- Switch/ Outlet Color --- White
- Ceiling Fans --- Master bedroom- (1) w/ satin finish and light kit
- Light Fixtures (\$1500 Allowance) --- fixtures selected by Ogden City.
- GFI outlets --- Installed per plan or per National Electrical Code.
- Garage Door Opener --- One Opener with (2) remotes
- Additional ceiling Fans --- NA

Telephone and TV cabling

Telephone	(2) Cat-5 (includes pre-wire and trim) Master bedroom and kitchen
T.V.	(4) RG-6 (includes pre-wire and trim) Family room and bedrooms

Flooring, Countertops, & Shower Walls

Countertops & Backsplash

Kitchen Tops	Granite- Bianca White
Vanity Tops	Granite-Bianca White
Utility Tops	Granite- Bianca White
Kitchen Backsplash	3"x6" white subway tile with Grey Grout

Shower / Tub Walls

- Cultured marble to be used at master and secondary tub/shower walls.

Flooring

- Laminate Flooring – Oceanside Waterproof Flooring- color to be San Becinto Range- Model# VSPC75B. 5.5mm, 7"x5'. Installed in Living Room, Kitchen, and Mud Room.
- Carpet Level II (25 oz. polyester frieze carpet) –color to be approved by OGDEN CITY prior to installation. Pad 3/8" rebond pad. Installed in all bedrooms, family room and stairs.
- Tile – Bathrooms, Laundry Room, Mechanical room.

Painting & Drywall

Exterior

- All trim to be caulked as necessary and painted to final finish.
- Two tone paint. See exterior color selection exhibit for colors.

Interior

- All walls to be ½" gypsum board-taped, floated and final floated – Smooth Finish. Green board or equal to be used in all tub/shower surrounds. All ceilings to be 1/2" sheetrock, 5/8" where required by code – Light Texture. Eggshell latex wall paint in all finished sheet-rock areas. Color to be selected and approved by OGDEN CITY prior to painting.
- Trim will be caulked & sanded. 2 coats of interior enamel paint. Two tone paint scheme throughout. See interior color selection exhibit for colors.

Mirrors and Shower Doors

Mirrors

- Bathroom mirrors to be ¼" plate glass, sized per plan.

Shower Doors

- Master bath shower doors to be clear tempered glass, frame color to be Satin.

Hardware

Hardware

Type:	Schlage
Style:	Georgian
Color:	Satin
Hinges:	26 D – Satin
Bathroom accessories:	Delta Crestfield: One towel bar, towel ring, and paper holder per bath to match plumbing finish. Satin

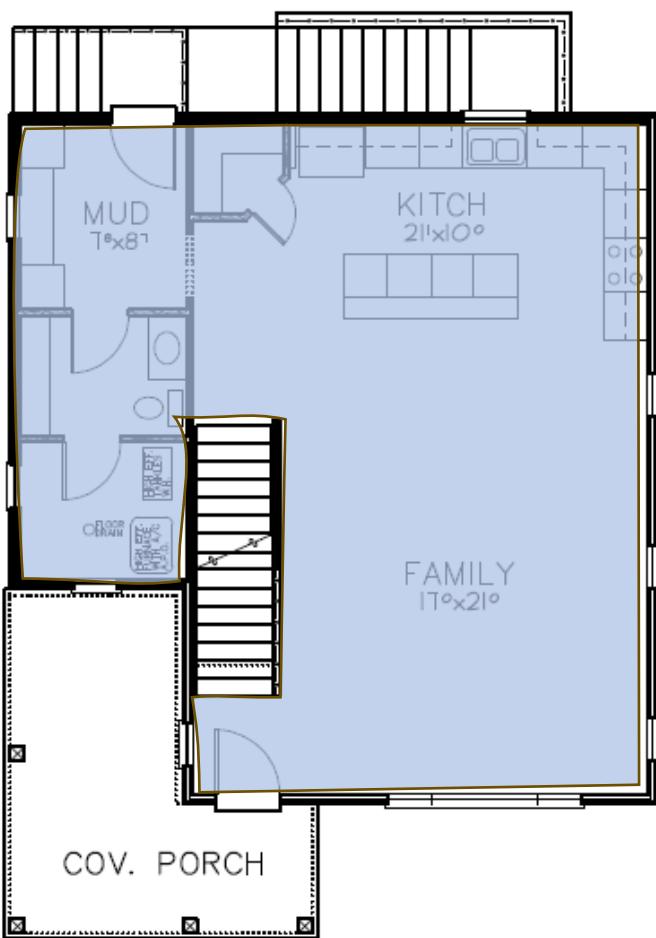
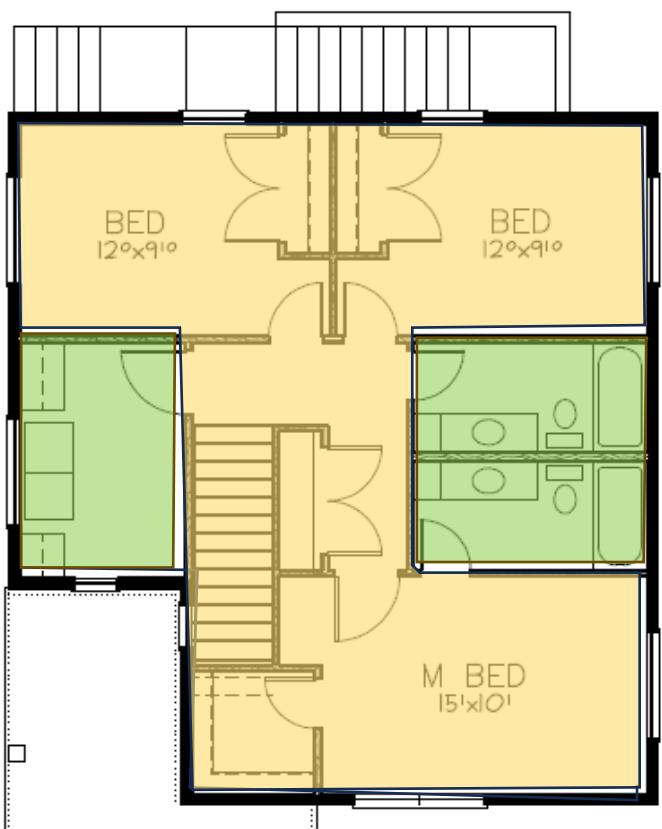
Concrete

- Provide all concrete per code to install driveway, pads, caps, stairs, and sidewalks per site plan.

Garage

- To be built per plan, with in kind materials as home.
- Gable end roof style with architectural shingles. Color to be Weatherwood to match home.
- Siding and trim materials to match home.
- Exterior colors to match home and approved by Ogden City.
- Electrical to include GFI circuits, lighting, and overhead garage door, per plan.
- Fire Rated Walls – Build per plan
- **No** drywall or insulation done on garage interior.

2321 Quincy
Flooring Exhibit



LVP Flooring



Tile



Carpet

2321 Quincy Interior Color Selects

February 2024



Paint – Agreeable Grey Sherwin-Williams SW 7029
Base eggshell walls.



Paint -Trim – Satin Finish trim,



Bianca White Granite – Countertops



Carpet-Shaw - Well Timed
-Canoe



Tile – Soho – Madison 12x24

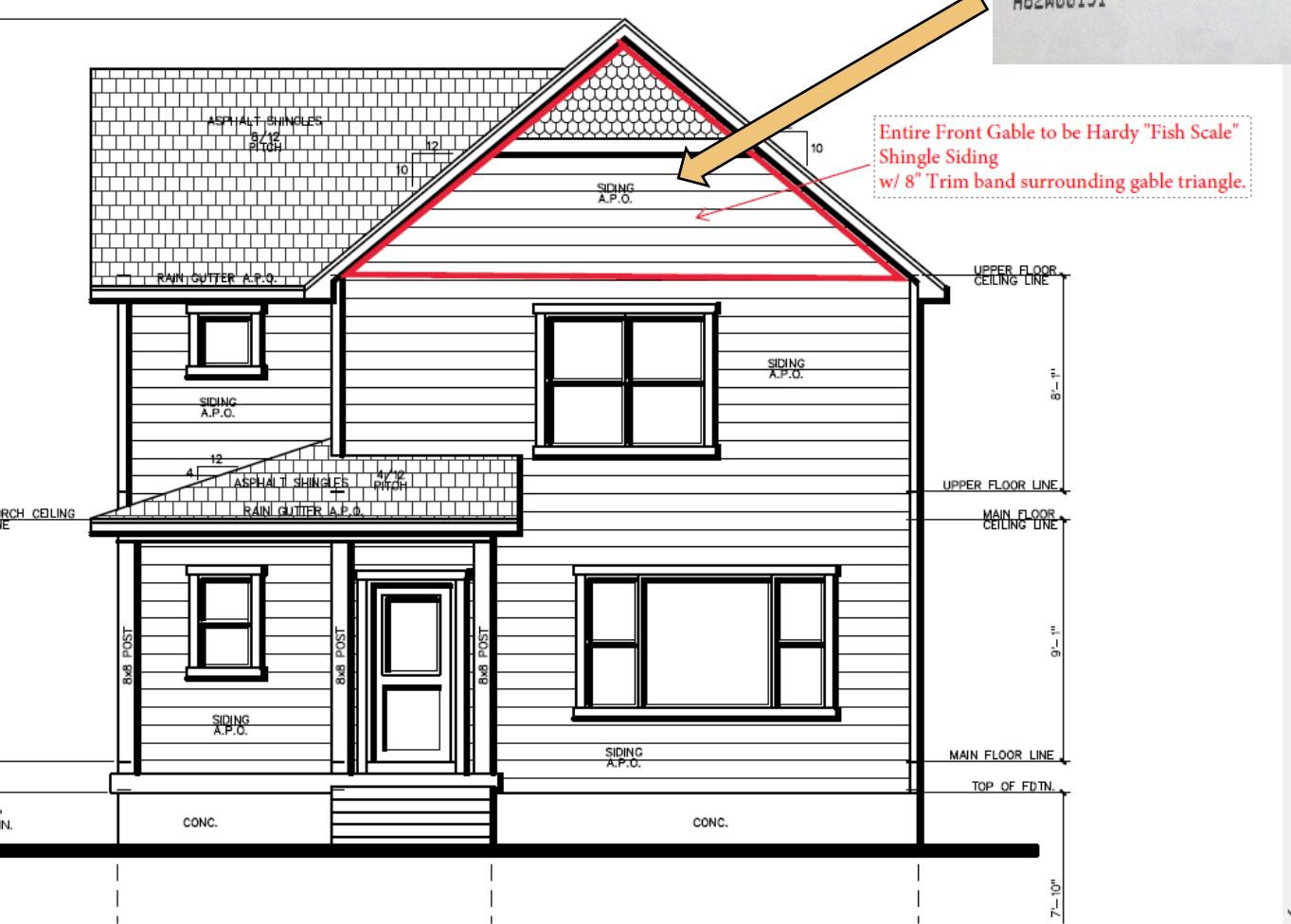
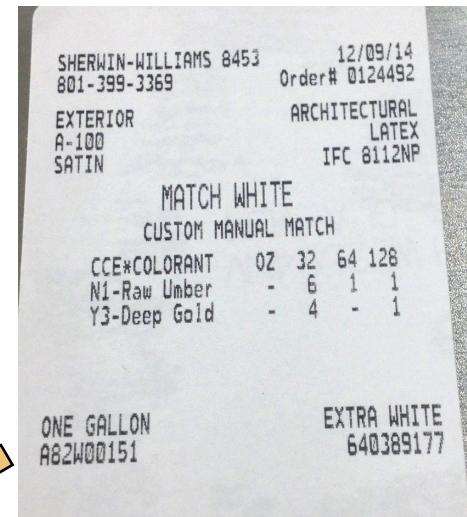


Oceanside Flooring
COLOR: San Becinto Range
Model VSPC7SB
W 7" X 5'. Thickness 5.5mm
TYPE: SPC

2321 Quincy Exterior Color Selects

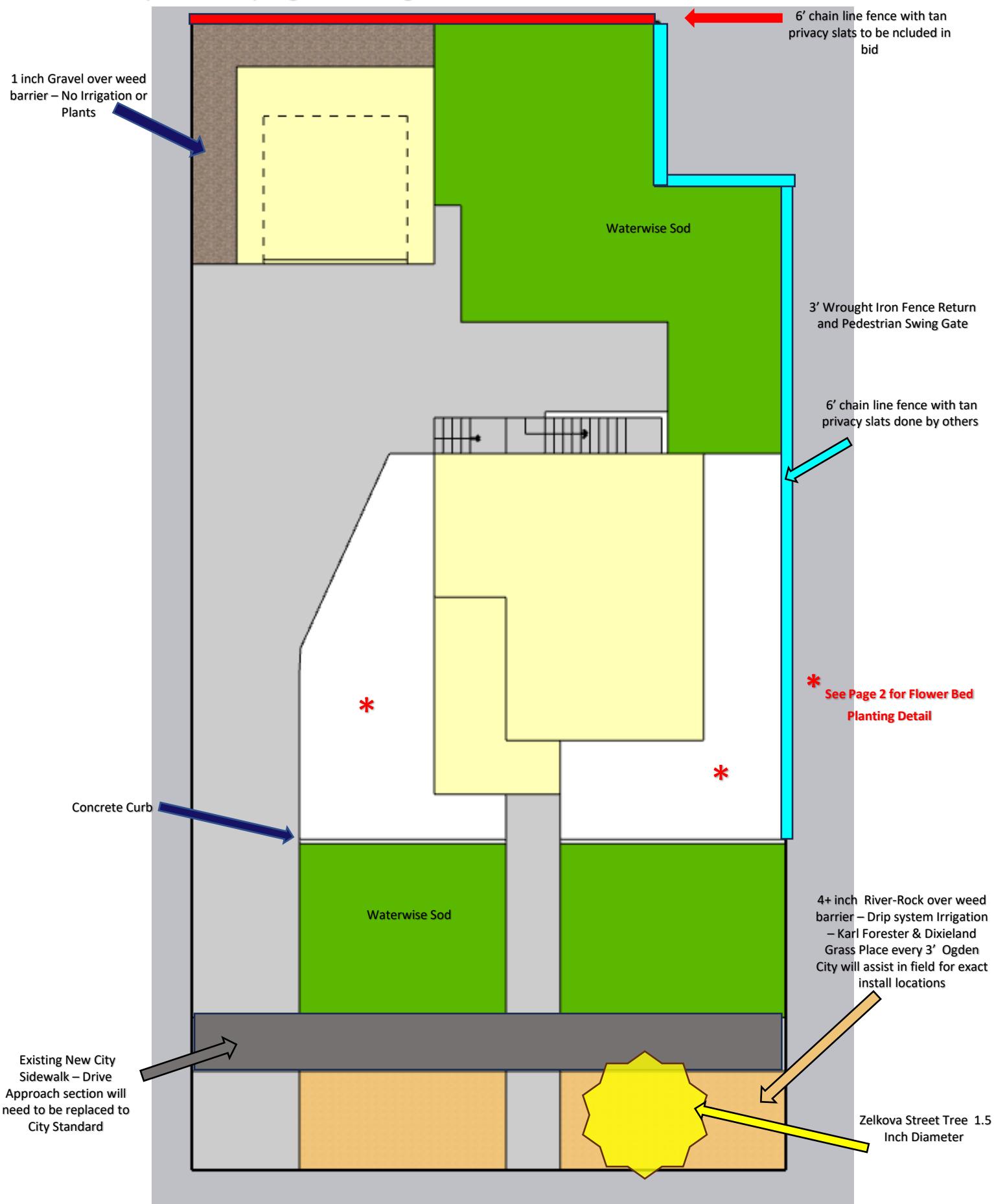
February 2024

Exterior Trim – Color Match – Ogden White
Fish Scale Gables, Bands, Fascia, Trim



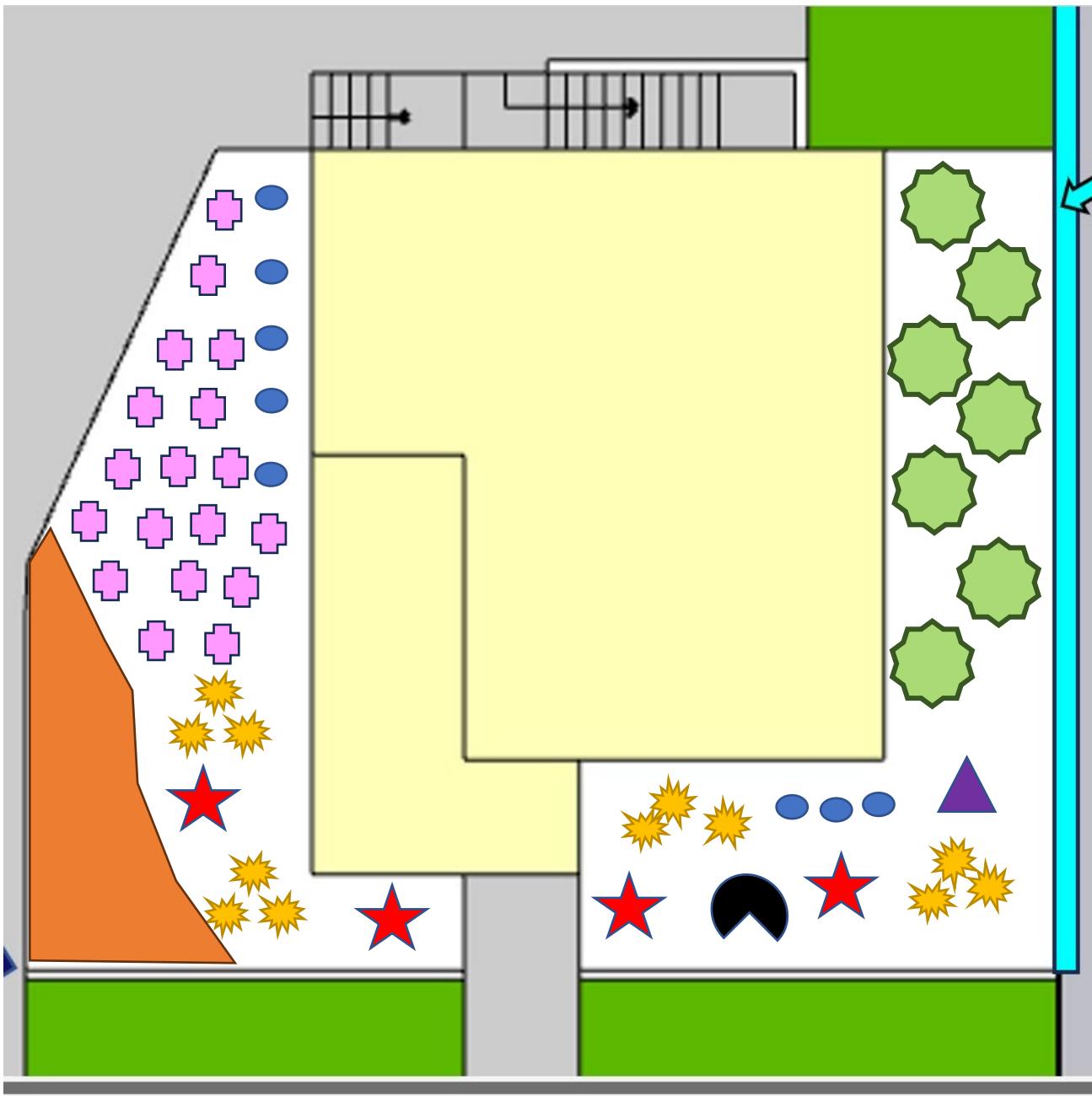
Sherwin Williams– Oakmoss SW
6180 – Exterior Lap Siding

2321 Quincy Landscaping Plan - Page 1 of 2



2321 Quincy Landscaping Plan

Page 2 of 2



4" River Rock over weed barrier

~ Weed Barrier and 4" minimum Dark Mulch in all Flower bed surrounding House (Shown in White)
Drip Irrigation on all flowerbeds on side of House. Spray Irrigation can be used on all turf and front yard flower beds. Turf to be laid as sod – Waterwise blend suitable for active residential use

2321 Quincy Site Plan



~ DRIVE APPROACH & CITY SIDEWALK TO BE INSTALLED PER OGDEN CITY STANDARD

~ ALL WORK TO COMPLY WITH OGDEN CITY STANDARDS

~ ALL DEFECTIVE CURB/GUTTER & SIDEWALK, ALONG PROPERTY, WILL BE REPLACED PER OGDEN CITY STANDARD

~ ALL UTILITY TRENCHING DONE IN PUBLIC STREET TO BE COVERED BY A SINGLE ASPHALT PATCH THAT EXTENDS THE FULL WIDTH OF THE ROAD PER OGDEN CITY STANDARD

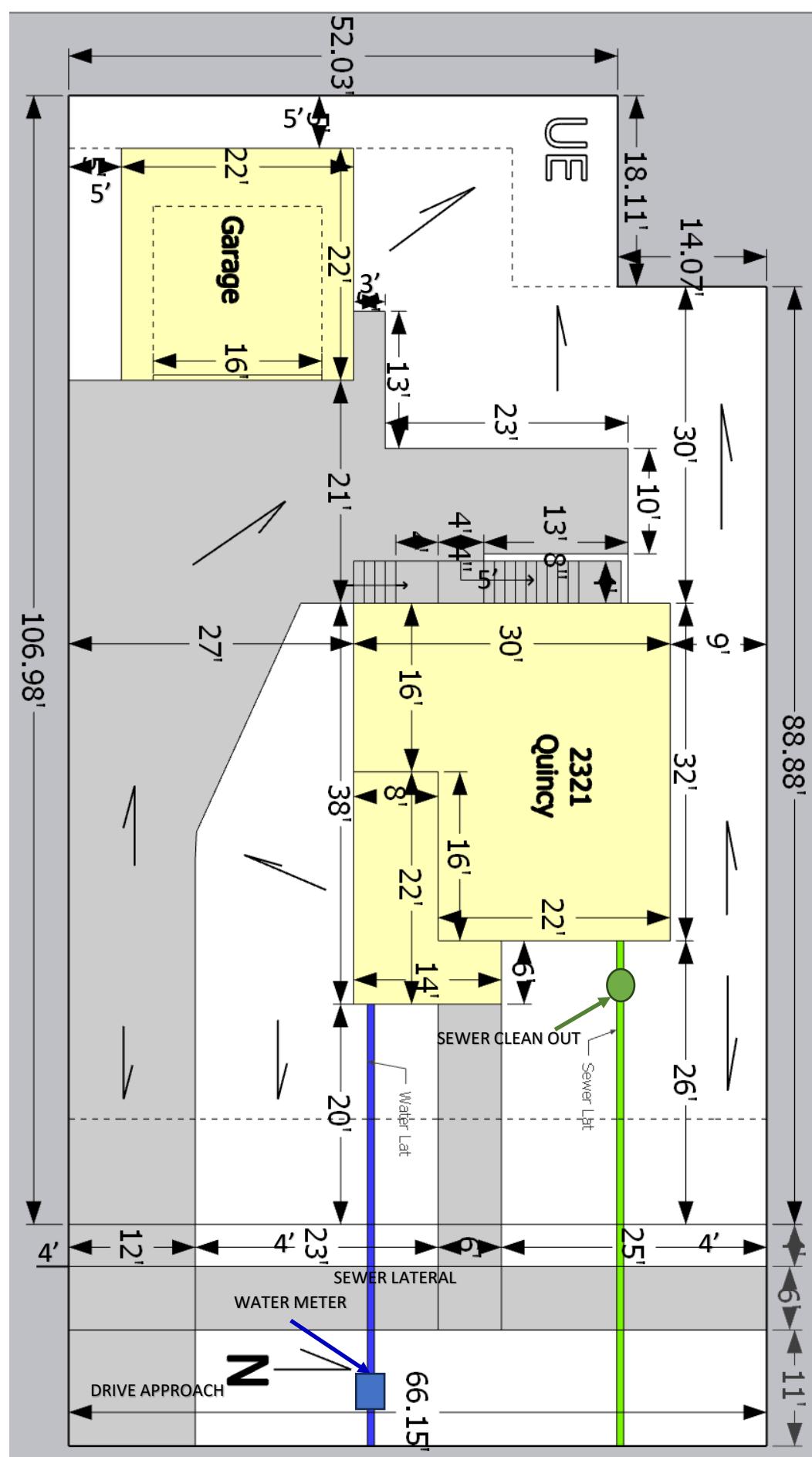
~ SEWER & WATER LATERALS MUST MAINTAIN A MINIMUM 10' SEPARATION

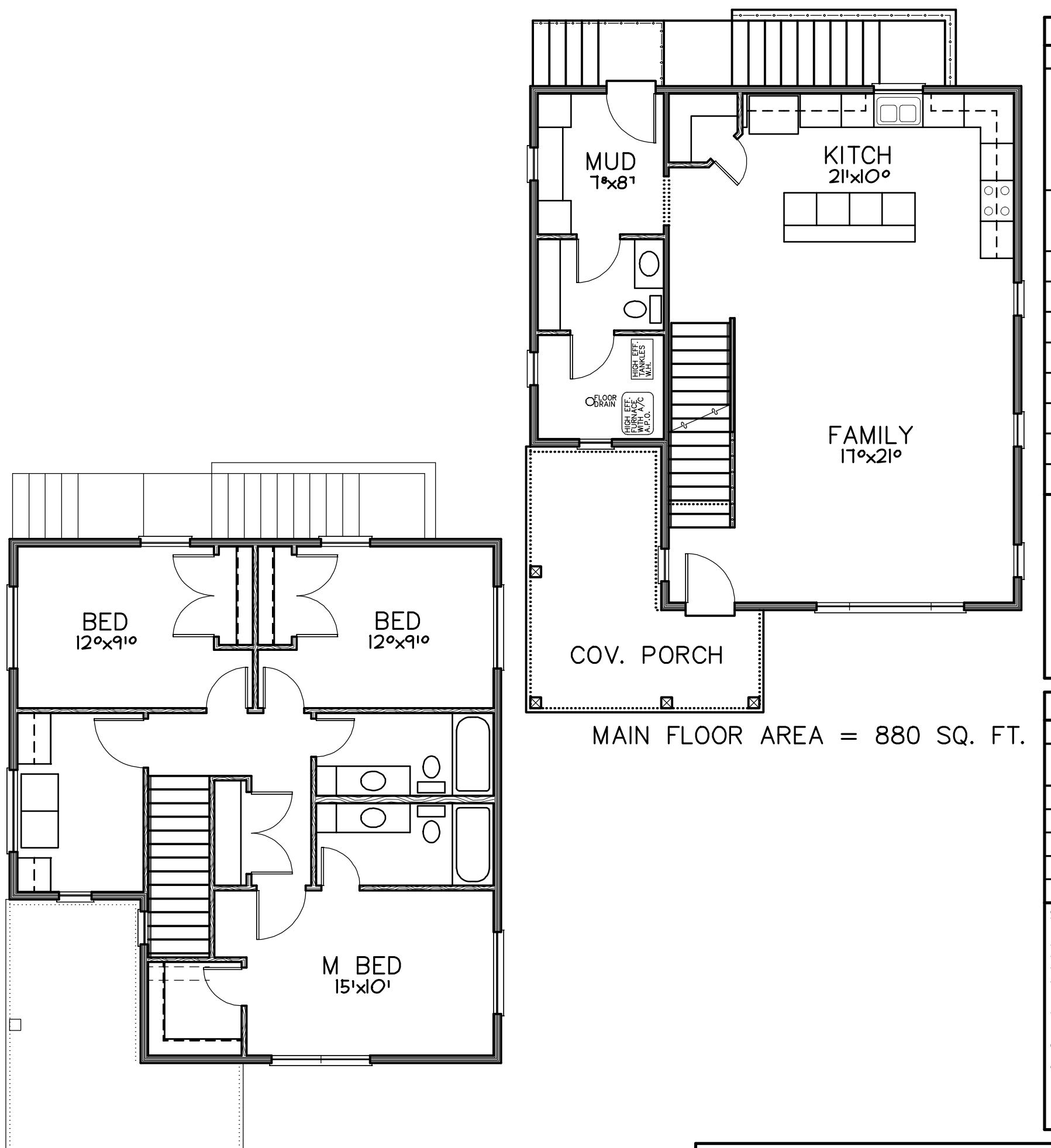
WATER UTILITY NOTES:

1. $\frac{3}{4}$ " WATER METER AND LATERAL FROM METER
2. AWWAC 901CTS POLY TUBING MATERIAL
3. TRACER WIRE ALONG LATERAL TO BE INCLUDED
4. WATER UTILITY WORK TO COMPLY WITH OGDEN CITY STANDARDS

SEWER UTILITY NOTES:

1. 4" SEWER LATERAL
2. PVC SDR-35, GREEN – MATERIAL
3. MINIMUM 2% SLOPE
4. SEE OGDEN CITY STANDARDS DETAIL





BRICK VENEER STEEL ANGLE LINTEL SCHEDULE		
OPENING SIZE	ANGLE SIZE	COMMENTS
0'-0" TO 6'-11"	L3.1/2"x3.1/2"x1/4"	
7'-0" TO 8'-11"	L4"x3.1/2"x1/4"	
9'-0" TO 9'-11"	L5"x3.1/2"x1/4"	
10'-0" TO 18'-0"	L5"x3.1/2"x1/4"	CONNECT STEEL ANGLE TO LVL BEAM AT 1/2" DIA. x 3" LAG SCREWS AT 12" O.C.

BRICK VENEER STEEL ANGLE LINTEL NOTES:
 1. ALL STEEL LINTELS SHALL HAVE A MINIMUM BEARING LENGTH OF 1" PER FOOT OF OPENING. A DESIGNER MAY APPROVE AN LINTEL CONSISTING ONLY OF WEIGHT OF WALL WITHIN A 60 DEGREE ISOSCELES TRIANGLE AREA ABOVE OPENING.
 2. ALL STEEL LINTELS ARE TO HAVE LONG LEG VERTICAL.
 3. ALL STEEL LINTELS SHALL BE CORROSION RESISTANT.

CONCRETE FOOTING SCHEDULE							
MARK	WIDTH	LENGTH	THICK.	CROSSWISE REINFORCING		LENGTHWISE REINFORCING	
				NO.	SIZE	LENGTH	SPACE
CONTINUOUS FOOTINGS							
FC1.5	1"-6"	CONT.	10"	N/A	N/A	N/A	2
FC1.7	1"-8"	CONT.	10"	N/A	N/A	N/A	2
FC2.0	2"-0"	CONT.	12"	N/A	N/A	N/A	3
FC2.5	2"-6"	CONT.	12"	#4	2"-0"	12"	4
FC3.0	3"-0"	CONT.	12"	#4	2"-6"	12"	5
FC3.5	3"-6"	CONT.	12"	#4	3"-0"	12"	5
FS2.0	2"-0"	12"	3	#4	1"-6"	9"	3
FS2.5	2"-6"	12"	4	#4	2"-0"	8"	4
FS3.0	3"-0"	12"	5	#4	2"-6"	7.5"	5
FS3.5	3"-6"	12"	5	#4	3"-0"	9"	3
FS4.0	4"-0"	12"	6	#4	3"-6"	8.4"	6
FS4.5	4"-6"	12"	7	#4	4"-0"	8"	7
FS5.0	5"-0"	14"	8	#4	4"-6"	7.7"	8

CONCRETE FOOTING NOTES:
 1. PLACE ALL FOOTING REINFORCING IN BOTTOM OF FOOTING WITH 3" CLEAR CONCRETE COVER UNLESS NOTED OTHERWISE.
 2. ALSO PROVIDE SCHEDULED REINFORCING TO THE FOOTING WHEN NOTED ON PLANS.
 3. PC = CONTINUOUS FOOTING; TS = SQUARE FOOTING.

METAL HOLDOWN SCHEDULE ¹			
MARK	SIMPSON HOLDOWN	ATTACHMENT	COMMENTS
LSTHD8 OR LSTHD8RJ	LSTHD8 OR LSTHD8RJ (RIM JOIST)	(20)-16d SINKER NAILS	STHD10, STHD14, HTT4, HTD4, OR HDU4 MAY BE USED IN LIEU OF LSTHD8
STHD10 OR ² STHD10RJ	STHD10 OR ² STHD10RJ (RIM JOIST)	(28)-16d SINKER NAILS	STHD14, HTT4, HTD4, OR HDU4 MAY BE USED IN LIEU OF STHD10
STHD14 OR ² STHD14RJ	STHD14 OR ² STHD14RJ (RIM JOIST)	(30)-16d SINKER NAILS	HTT4 OR HDU4 MAY BE USED IN LIEU OF STHD14
HTT4	HTT4	ALL-THREAD ROD EPOXIDED 8" MIN. INTO TOP OF FDTN.	SEE DETAIL 5/S4.2 FOR EPOXY ATTACHMENT
HTD4	HTD4	(10)-SDS1/4x2.1/2" SCREWS WITH 5/8" DIA. A307 ALL-THREAD ROD EPOXIDED 8" MIN. INTO TOP OF FDTN.	SEE DETAIL 5/S4.2 FOR EPOXY ATTACHMENT
HDU4	HDU4-SDS2.5	(10)-SDS1/4x2.1/2" SCREWS WITH 5/8" DIA. A307 ALL-THREAD ROD EPOXIDED 8" MIN. INTO TOP OF FDTN.	SEE DETAIL 5/S4.2 FOR EPOXY ATTACHMENT
HDU5	HDU5-SDS2.5	(10)-SDS1/4x2.1/2" SCREWS WITH 5/8" DIA. A307 ALL-THREAD ROD EPOXIDED 8" MIN. INTO TOP OF FDTN.	SEE DETAIL 5/S4.2 FOR EPOXY ATTACHMENT
HD8	HD8-SDS3	(20)-SDS1/4x3 SCREWS WITH 7/8" DIA. A307 ALL-THREAD ROD EPOXIDED 8" MIN. INTO TOP OF FDTN.	SEE DETAIL 5/S4.2 FOR EPOXY ATTACHMENT

METAL HOLDOWN NOTES:
 1. HOLDOWNS SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. SEE DETAILS 5 AND 9/S4.2
 2. USE RIM JOIST MODEL OF STRAP IF STRAP IS LOCATED AT A RIM JOIST, OTHERWISE, A NON-RIM JOIST MODEL MAY BE USED.

CONCRETE FOUNDATION WALL SCHEDULE			
MARK	WIDTH ^{2,4}	MAX. HEIGHT ^{2,4,5}	WALL REINFORCING
			VERTICAL ⁶ HORIZONTAL ^{1,3}
CFW3.0	8" MIN.	MEET MIN. FROST DEPTH	#4 AT 18" O.C. #4 AT 12" O.C.
CFW4.0	8" MIN.	MEET MIN. FROST DEPTH	#4 AT 24" O.C. #4 AT 12" O.C.
CFW6.0	8" MIN.	8"-0"	#4 AT 24" O.C. #4 AT 18" O.C.
CFW8.0	8" MIN.	8"-0"	#4 AT 24" O.C. #4 AT 19" O.C.
CFW9.0	8" MIN.	9"-0"	#4 AT 16" O.C. #4 AT 18" O.C.
CFW10.0	8" MIN.	10"-0"	#4 AT 9" O.C. #4 AT 12" O.C.

CONCRETE FOUNDATION WALL NOTES:
 1. LOCATE A HORIZONTAL BAR WITHIN 4" OF TOP AND BOTTOM OF WALL.
 2. WALL HEIGHT MAY BE INCREASED AS DESIRED WHERE FROST PROTECTION NEEDS TO BE DROPPED FOR FROST PROTECTION.
 3. UNLESS NOTED OTHERWISE, PLACE ADDITIONAL HORIZONTAL REBAR AS NEEDED TO NOT EXCEED SPACING SHOWN.
 4. PROVIDE NOTCHES AND DROPS IN TOPS OF FOUNDATION AS NOTED ON PLANS AND WHERE REQUIRED FOR DOOR OPENINGS AND WHERE CONCRETE SLABS POUR OVER THE TOP OF FOUNDATION WALLS.
 5. PROVIDE VERTICAL REBAR TOWELS TO MATCH VERTICAL WALL REBAR SIZE AND SPACING TO TIE FTG. TO FDTN. WALL.
 6. SOIL BACKFILL SHALL BE SOIL CLASSIFICATION TYPES GW, GP, SW, OR SP PER IBC TABLE 1610.1. SOIL SHALL NOT BE SUBMERGED OR SATURATED IN GROUND WATER.
 7. SEE PLAN FOR ACTUAL WALL WIDTH. FOR 12" ON THICKER WALLS, PROVIDE 2 LAYERS OF REINFORCING (2" FROM EACH FACE).

WOOD BEAM/HEADER SCHEDULE ^{4,6}		COMMENT	MARK ¹	SIZE ^{2,3}	COMMENT
(2)-2x8 FOR 2x4 WALLS	USE FOR BEAM/HEADER SPANS UP TO 12' O.C. FOR 2X4 WALLS. OTHERWISE IN BASEMENTS, WITH CEILING HEIGHTS LESS THAN 8'-10" (FOR 2X4) OR 9'-0" (FOR 2X6) - HEADERS MAY BE RECESSED INTO WALL DOUBLE TOP PLATE AS REQUIRED FOR HEIGHTS - SEE DETAIL 10/S6.1	WB2-5.5LV	(2)-1.3/4"x5.1/2" LVL		
(3)-2x8 FOR 2x6 WALLS		WB2-7.25LV	(2)-1.3/4"x7.1/4" LVL		
(2)-2x10 FOR 2x4 WALLS	USE FOR BEAM/HEADER SPANS UP TO 12' O.C. FOR 2X4 WALLS. OTHERWISE IN BASEMENTS, WITH CEILING HEIGHTS LESS THAN 8'-10" (FOR 2X4) OR 9'-0" (FOR 2X6) - HEADERS MAY BE RECESSED INTO WALL DOUBLE TOP PLATE AS REQUIRED FOR HEIGHTS - SEE DETAIL 10/S6.1	WB2-9.5LV	(2)-1.3/4"x9.1/2" LVL		
(3)-2x10 FOR 2x6 WALLS		WB2-11.88LV	(2)-1.3/4"x11.7/8" LVL		
WB2-6DF	(2)-2x6 DF#2	WB2-5.5LV	WB2-14LV	(2)-1.3/4"x14" LVL	
WB2-8DF	(2)-2x8 DF#2	WB2-7.25LV	WB2-16LV	(2)-1.3/4"x16" LVL	
WB2-10DF	(2)-2x10 DF#2	WB2-9.5LV			
WB2-12DF	(2)-2x12 DF#2	WB2-11.88LV			
WB3-6DF	(3)-2x6 DF#2	WB3-5.5LV			
WB3-8DF	(3)-2x8 DF#2	WB3-7.25LV			
WB3-10DF	(3)-2x10 DF#2	WB3-9.5LV			
WB3-12DF	(3)-2x12 DF#2	WB3-9.5LV			

WOOD BEAM NOTES:
 1. BEAM MARKS WITH "DF" DESIGNATE THE USE OF DOUGLAS FIR-LARCH NO. 2 OR BETTER STANDARD LUMBER. BEAM MARKS WITH "LVL" DESIGNATE THE USE OF ENGINEERED LUMBER WITH THE FOLLOWING MINIMUM PROPERTIES: $F_b = 2600$ psi, $F_c = 285$ psi, $F_{t0} = 750$ psi, $E = 1.9x10^6$ psi.
 2. GSP BEAM END NAILS ARE SMALLER THAN BEAM DIMENSIONS IS BASED ON STANDARD LUMBER. PROVIDE 1/2" PLYWOOD OR OSB SHEATHING ON ALL FACES OF BEAM. USE THICKNESS OF MATERIAL AS WALL THICKNESS.
 3. MULTIPLE MEMBER BEAMS/HEADERS SHALL BE NAILED TOGETHER WITH A MINIMUM OF 2 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS 12 IN. OR LESS USE 3 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS GREATER THAN 12 IN.
 4. CONTACT THE ENGINEER FOR BEAM/HEADER SPANS GREATER THAN 5"-2" THAT ARE NOTED ON THE DRAWINGS.
 5. "FLUSH", WHEN NOTED ON PLANS, INDICATES TO PLACE THE BEAM SO THAT THE TOP AND/OR BOTTOM OF THE BEAM IS FLUSH WITH THE SUPPORTED FRAMING.
 6. DO NOT USE LVL BEAMS WHERE THEY MAY BE EXPOSED TO WEATHER (E.G. DECK FRAMING).

SHEAR WALL CONSTRUCTION				PANEL ATTACHMENT ^{1,7}		WALL ANCHORAGE		COMMENTS	
WALL MARK	PANEL ^{5,6} MATERIAL	SIDES	PANEL ² EDGES	PANEL ^{3,9} FASTENER	EDGE NAILING	FIELD NAILING	ANCHOR BOLT ^{1,7}	SPACING	
SW1	1/2" GYPSUM WALLBOARD ⁴	BOTH SIDES	BLOCKED	NO. 6x1.1/4" SCREWS	4" O.C.	16" O.C.	16d NAILS	4" O.C.	USE SW4 AS ALTERNATE
SW2	7/16" OSB SHEATHING	ONE SIDE	BLOCKED	8d NAILS	4" O.C.	12" O.C.	32" O.C.	SEE NOTE 8 BELOW	
SW3	7/16" OSB SHEATHING ¹¹	BOTH SIDES	BLOCKED	8d NAILS	4" O.C.	12" O.C.	1/2" x 10" A.B.	16" O.C.	SEE NOTE 8 & 11 BELOW
SW4	3/8" OR 7/16" OSB SHEATHING	ONE SIDE	BLOCKED	8d NAILS	6" O.C.	12" O.C.	32" O.C.	SEE NOTE 8 BELOW	
SW5	7/16" OSB SHEATHING U.N.O.								



CONSTRUCTION COST NOTE:
THE BUILDING DESIGN SHOWN IN THESE PLANS IS BASED ON DIRECTION PROVIDED TO US BY THE OWNER AND/OR GENERAL CONTRACTOR. WE HAVE ATTEMPTED TO BE AS COMPLETE AS POSSIBLE, BUT WE ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. WE HAVE NOT ATTEMPTED TO PROVIDE COST ESTIMATE SERVICES FOR THE CONSTRUCTION OF THIS BUILDING. THE OWNER IS RESPONSIBLE FOR HAVING A COST ESTIMATE PROVIDED BY THE OWNER AND/OR GENERAL CONTRACTOR TO DETERMINE THE COST OF THE BUILDING AND WHETHER IT MEETS THE OWNER'S EXPECTATIONS.

SITE AND LOT NOTE:
THE HOME DESIGN SHOWN IN THESE PLANS IS REFLECTIVE OF THE CONDITIONS PROVIDED TO US BY THE OWNER AND/OR GENERAL CONTRACTOR. WE HAVE NOT ATTEMPTED TO PROVIDE COST ESTIMATE SERVICES FOR THE CONSTRUCTION OF THIS BUILDING. THE OWNER IS RESPONSIBLE FOR HAVING A COST ESTIMATE PROVIDED BY THE OWNER AND/OR GENERAL CONTRACTOR TO DETERMINE THE COST OF THE BUILDING AND WHETHER IT MEETS THE OWNER'S EXPECTATIONS.

DESIGN LOADS
ROOF: SNOW - 30 psf
DEAD - 17 psf
FLOOR: LIVE - 40 psf
DEAD - 12 psf
DECK: LIVE - 60 psf
DEAD - 20 psf
GROUND SNOW LOAD - 43 psf
ULTIMATE DESIGN WIND SPEED, V_{3s} - 115 mph
NOMINAL DESIGN WIND SPEED, V_{3s} - 90 mph
SEISMIC DESIGN CATEGORY 'D'
SITE CLASS 'D'
SOIL BEARING PRESSURE - 1500 psf
CONTRACTOR/OWNER SHALL VERIFY ACCURACY OF THE DESIGN. IF THE CONTRACTOR FINDS ANY ERROR OR DEFECT IN THE DESIGN, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGNER OF SUCH ERROR, OMISSION OR DEFECT IN WRITING.

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LOT #: 1
SUBDIVISION: SYCAMORE COVE SUBDIVISION
ADDRESS: 2321 QUINCY AVE.
CITY: OGDEN STATE: UTAH
AND OTHER USE OF THESE DRAWINGS & DESIGNS IS STRICTLY PROHIBITED.
CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS. READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS, AND ALL ASSOCIATED COSTS, PRIOR TO CONSTRUCTION.
DATE: 11/20/2023
JOB NO: 23059
PLAN NO: 0-1-850-7-2-837 TWO-STORY

NOTES TO PLAN:

- SEE GENERAL STRUCTURAL NOTES, SCHEDULES, AND DETAILS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS. THIS PLAN IS TO BE WORKED ALONG WITH THESE OTHER SUPPORTING SHEETS. THE OWNER AND CONTRACTOR SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- FOOTINGS: SEE THE GENERAL STRUCTURAL NOTES. THE CONCRETE FOOTING SCHEDULE ON SHEET S.1 AND S.2 FOR ADDITIONAL INFORMATION. FOOTINGS SUPPORTING CONCRETE FOUNDATION WALLS SHALL BE A FC2.0 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING INTERIOR WOOD BEARING WALLS SHALL BE BD 48. FOOTINGS FOR UNNOTED OTHERWISE SUPPORTING CONCRETE FOUNDATION WALLS SHALL BE FC2.0. FOOTINGS SUPPORTING CONCRETE FOUNDATION WALLS SHALL BE A FC2.0 FOOTING UNLESS NOTED OTHERWISE. SEE DETAILS 3/S4.1 AND 4/S4.1 FOR FOOTING STEPS, CORNERS, AND INTERSECTIONS.
- FOUNDATION WALLS: SEE THE GENERAL STRUCTURAL NOTES. THE CONCRETE FOUNDATION WALL SCHEDULE, AND THE DETAILS ON SHEETS S.4, AND S.4.2 FOR ADDITIONAL INFORMATION. THE FOUNDATION WALLS SHALL BE U.N.O. AND THE FOUNDATION WALL HEIGHT IS DESIGNATED IN THE SCHEDULE. CONTACT THE DESIGNER FOR FOUNDATION WALLS WITH HEIGHTS (HEIGHT BETWEEN LOW AND HIGH GRADE) GREATER THAN THAT DESIGNATED IN THE SCHEDULE. SEE DETAILS 4/S4.1 FOR FOUNDATION WALL CORNERS AND INTERSECTIONS. FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL THE FLOORS ARE PROPERLY INSTALLED TO PROVIDE ADEQUATE BRACING. SOIL USED FOR BACKFILL SHALL CONFORM TO THAT SPECIFIED IN THE CONCRETE FOUNDATION WALL SCHEDULE.
- ANCHOR BOLTS: SEE THE GENERAL STRUCTURAL NOTES AND SHEAR WALL SCHEDULE ON SHEET S.1 FOR FOUNDATION ANCHOR BOLT REQUIREMENTS.
- HOLDOWNS: SEE THE METAL HOLDOWN SCHEDULE ON SHEET S.1, AND DETAILS S.4.2 FOR ADDITIONAL INFORMATION. PROVIDED HOLDOWNS SHALL BE USED ON THE DRAWINGS. USE RIB JOIST VERSION OF TRAP WHEN LOCATED AT A RIB JOIST. FOR MISSED OR MISPLACED HOLDOWNS USE AN ALTERNATE HOLDOWN STRAP AS NOTED IN THE COMMENTS COLUMN OF THE METAL HOLDOWN SCHEDULE.
- RETAINING WALLS: SEE DETAILS 1/S4.1 AND 2/S4.1 FOR RETAINING WALL CONSTRUCTION INFORMATION. FOR WALLS RETAINING GRADE AREAS ONLY, CONTACT THE DESIGNER FOR RETAINING WALLS EXCEEDING THE HEIGHT SHOWN IN THE DETAILS OR AREAS WHERE VEHICLE LOADING WILL BE WITHIN FOUR FEET OF TOP OF WALL.
- DECK FOOTINGS: PLASTIC CONCRETE SPOT FOOTING FORMS WITH EQUIVALENT OR GREATER FOOTING SPAN AND REINFORCING MAY BE USED IN PLACE OF TRADITIONALLY FORMED FOOTINGS.
- CONCRETE PORCH SLABS: PROVIDE REINFORCING FOR SELF SUSPENDED CONCRETE PORCH SLABS AS SHOWN IN DETAIL 4/S3.2.
- CONCRETE SLABS OVER BACKFILL: PROVIDE REBAR DOWELS FROM CONCRETE SLAB TO CONCRETE FOUNDATION SLABS OVER BACKFILL AREAS AS SHOWN IN DETAIL 3/S3.2.
- CONCRETE SLAB CONTROL JOINTS: SLABS ON GRADE SHALL HAVE CONTROL OR CONSTRUCTION JOINTS PROVIDED AT A SPACING NOT TO EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION. INSTALL JOINTS SO THE LENGTH IS TO WIDTH RATIO IS NOT TO EXCEED 10:1. PROVIDE REINFORCING FOR CONTROL JOINTS WITHIN 24 HOURS OF CONCRETE PLACEMENT. BASIC CUTTING TO A DEPTH OF 1/4 THE THICKNESS OF THE SLAB. ALL DISCONTINUOUS CONTROL OR CONSTRUCTION JOINTS SHALL HAVE (2) #4 x 48" REBAR. SEE DETAILS.
- WALLS: 2X4 WALLS ARE SHOWN WITH A 3 1/2" THICKNESS AND 2X6 WALLS SHALL HAVE A 3 1/2" THICKNESS. BEARING STUDS AND PRECAST WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
- SHED WALLS: SEE THE SHEAR WALL SCHEDULE FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS SHALL BE SW2 TYPE SHEAR WALL UNLESS NOTED OTHERWISE. TO HELP RESIST SEISMIC WIND FORCES, ALL SHEAR WALLS SHALL BE ATTACHED TO THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S.3, AND S.4. SHEAR WALLS NOTED AS BRACED WALLS SHALL BE A SW1 SHEAR WALL TYPE.
- BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL CONSIST OF FULL HEIGHT STUD FRAMING AND BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S.4.1 THAT ARE NOTED. ALL EXTERIOR WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE FRAMING SHEET, THE WOOD BEAM/HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. CONTACT THE DESIGNER FOR WOOD BEAMS OR HEADERS NOT DESIGNATED ON PLANS THAT HAVE A SPAN GREATER THAN 5'-2". SEE THE NOTES ON BEAMS SCHEDULE OR SPANS UP TO 5'-2" THAT ARE NOTED OTHERWISE ON THE PLANS.
- FLOOR FRAMING: ALL FLOOR JOISTS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S.5.1 THRU S.5.2, U.N.O. FLOOR JOISTS THAT RUN PARALLEL TO EXTERIOR BEARING AND/OR SHEAR WALLS SHALL BE WOOD BLOCKING PROVIDED BY ONE OF THE METHODS SHOWN IN THE DETAILS. WHERE POSSIBLE, ALL FLOOR FRAMING SHALL BE "CONTINUOUS" OVER INTERMEDIATE BEARING SUPPORTS.
- FLOOR FRAMING PERFORMANCE: THE FLOOR FRAMING SYSTEM DESIGNATED IN THESE DRAWINGS EXCEED THE MINIMUM CODE REQUIREMENTS AND REPRESENT A STANDARD FLOOR SYSTEM. THE FLOOR FRAMING SYSTEM IS PROVIDED IN THE OWNER'S PERCEPTION OF AN ACCEPTABLE FLOOR PERFORMANCE. THE OWNER/CONTRACTOR SHALL VERIFY THAT THE DESIGNATED FLOOR FRAMING SYSTEM MEETS THE OWNER'S FLOOR REQUIREMENTS BEFORE BEGINNING FLOOR CONSTRUCTION.
- WOOD POSTS: ALL WOOD POSTS SHALL HAVE APPROPRIATE METAL POST CAPS AND BASE CONNECTORS INSTALLED GOOD FOR AT LEAST 900 POUND U.P.T. WOOD POSTS INSTALLED ON CONCRETE SHALL HAVE AT LEAST A 1" STANDOFF BASE. WHERE POSTS ARE INSTALLED ON CONC. PIERS OR FOOTINGS SEE DETAILS 9/S4.1, 10/S4.1, AND 8/S4.2 FOR ADDITIONAL INFORMATION.
- METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE FRAMING SHEET. SEE METAL CONNECTOR SCHEDULE ON SHEET S.1 FOR ADDITIONAL INFORMATION.
- DECK FLOORS: ALL DECK FLOORS SHALL BE HORIZONTALLY TIED TO INTERIOR FLOORS TO RESIST SEISMIC FORCES. SEE DETAIL 11/S5.1.
- THE UPPER FLOOR WALLS TO LOWER FLOOR WALLS WITH SIMPSON MTS48 STRAP WHERE NOTED ON PLANS. SEE METAL CONNECTOR SCHEDULE AND DETAIL 6/S5.2.
- TRUSS FABRICATION: IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILINGS, RAISED CEILINGS, ETC.), NOTIFY THE DESIGNER AND CONTRACTOR FOR REVISIONS BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
- TRUSS RATTERS AND ROOF TRUSSING: ALL TRUSSES AND RATTERS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S.6.1 THRU S.6.3, U.N.O. AT ROOF OVERBUILD AREA. PROVIDE OVERBUILD TRUSSES OR STICK FRAME AS SHOWN IN DETAIL 6/S6.2.
- TRUSS DRAG STRUTS: TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 PLF MIN. IN-PLANE HORIZ. SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.

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OGDEN CITY

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UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

UPPER FLOOR AREA = 837 SQ. FT.

DESIGN LOADS

ROOF:	Snow - 30 psf
	Dead - 17 psf
FLOOR:	Live - 40 psf
	Dead - 12 psf
DECK:	Live - 60 psf
	Dead - 12 psf

GROUND SNOW LOAD - 43 psf
ULTIMATE DESIGN WIND SPEED, V_{3s} - 115 mph
NOMINAL DESIGN WIND SPEED, V_{3s} - 90 mph
SEISMIC DESIGN CATEGORY 'D'
SITE CLASS 'D'
SOIL BEARING PRESSURE - 1500 psf

CONTRACTOR/OWNER SHALL VERIFY ACCURACY OF
STRUCTURE. CONCRETE, STAINLESS STEEL, AND
GYRE-CRETE OR LIGHTWEIGHT CONC. HAS BEEN
INCLUDED IN THE FLOOR DESIGN.

NOTICE AND WARNING

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THESE DRAWINGS & DESIGNS MAY BE USED FOR THE CONSTRUCTION OF A SINGLE BUILDING LOCATED AS FOLLOWS:

LOT #: 1
SUBDIVISION: SYCAMORE COVE SUBDIVISION

ADDRESS: 2321 QUINCY AVE.

CITY: OGDEN STATE: UTAH

AND OTHER USE OF THESE DRAWINGS & DESIGNS IS STRICTLY PROHIBITED.
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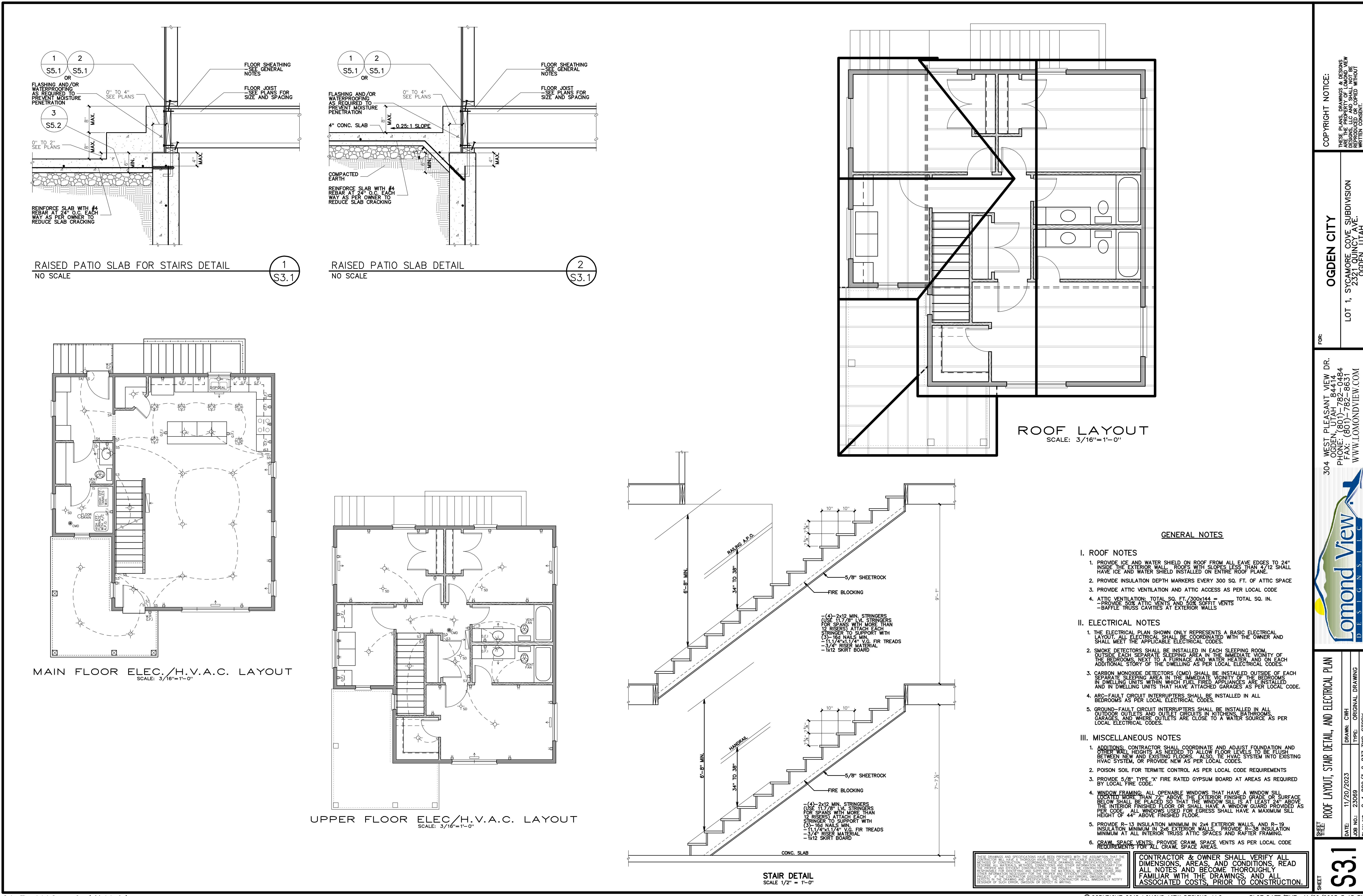
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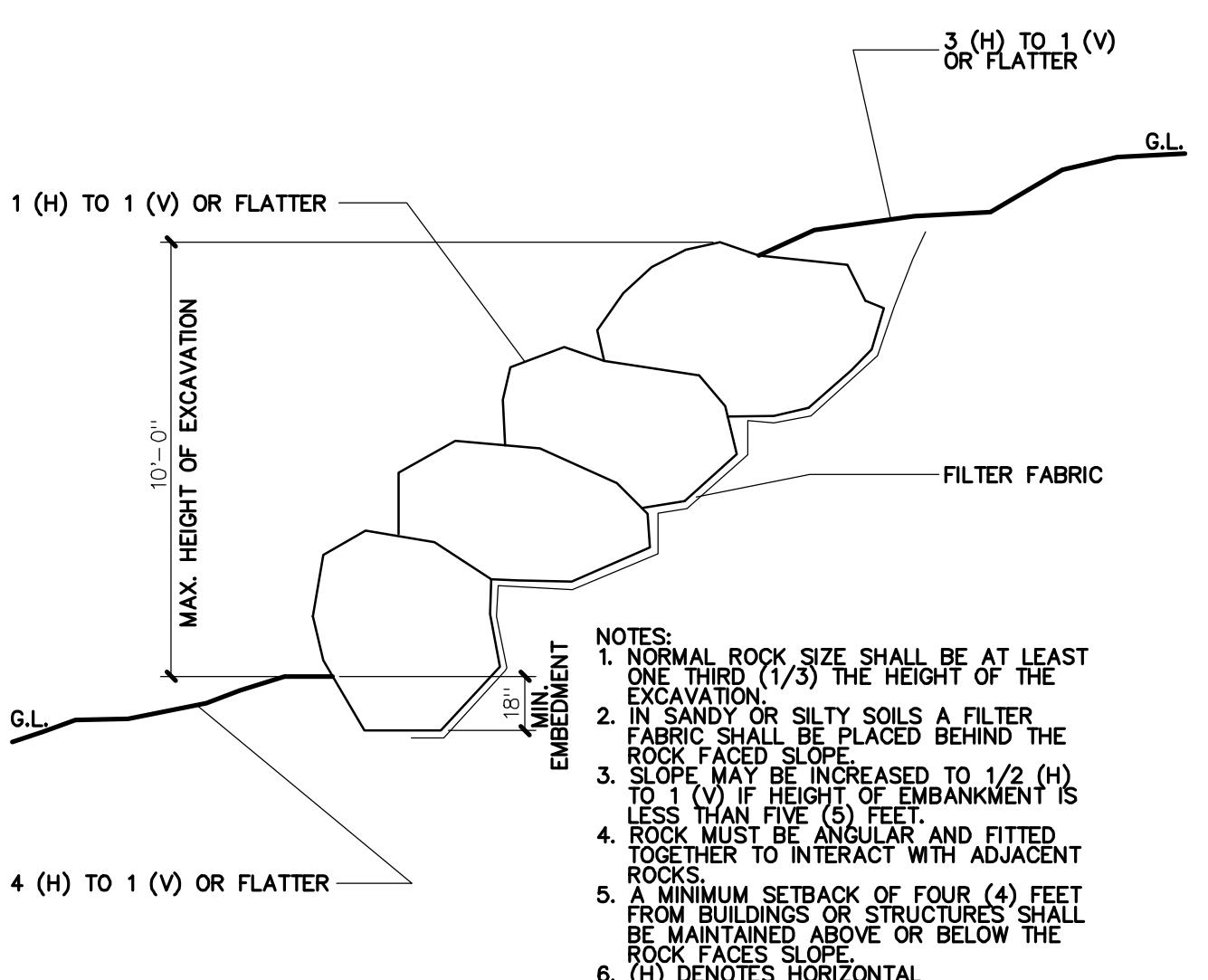
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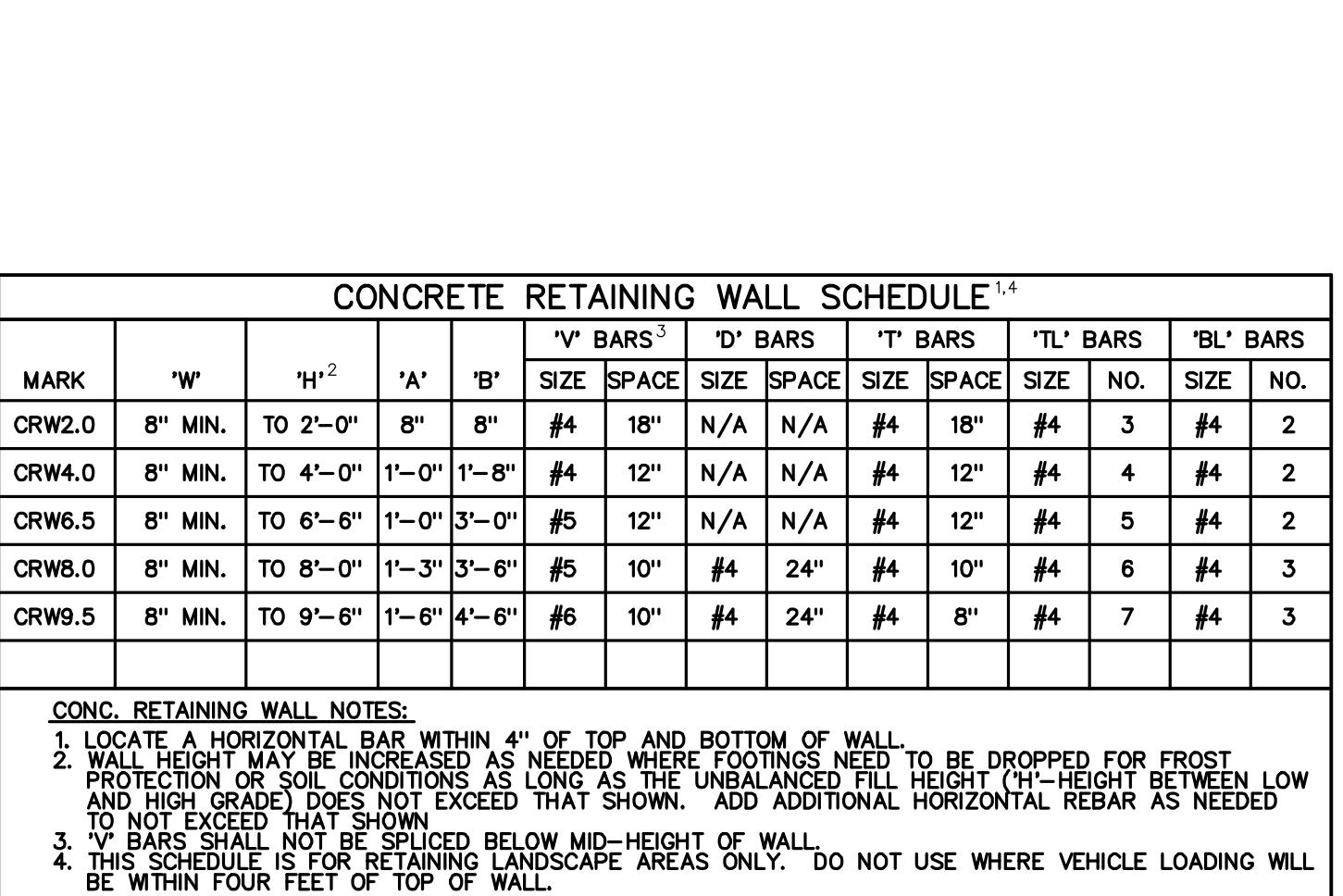
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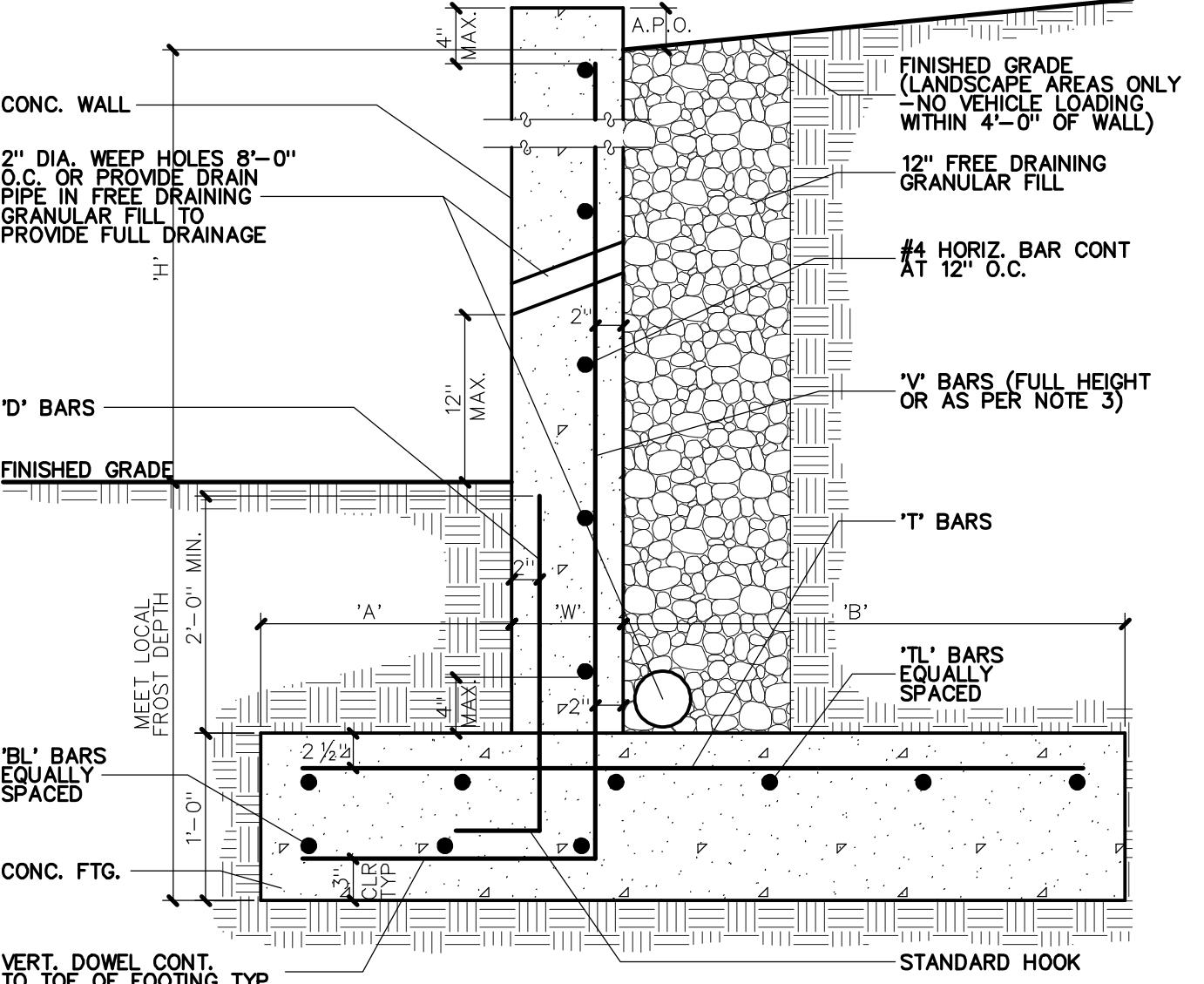




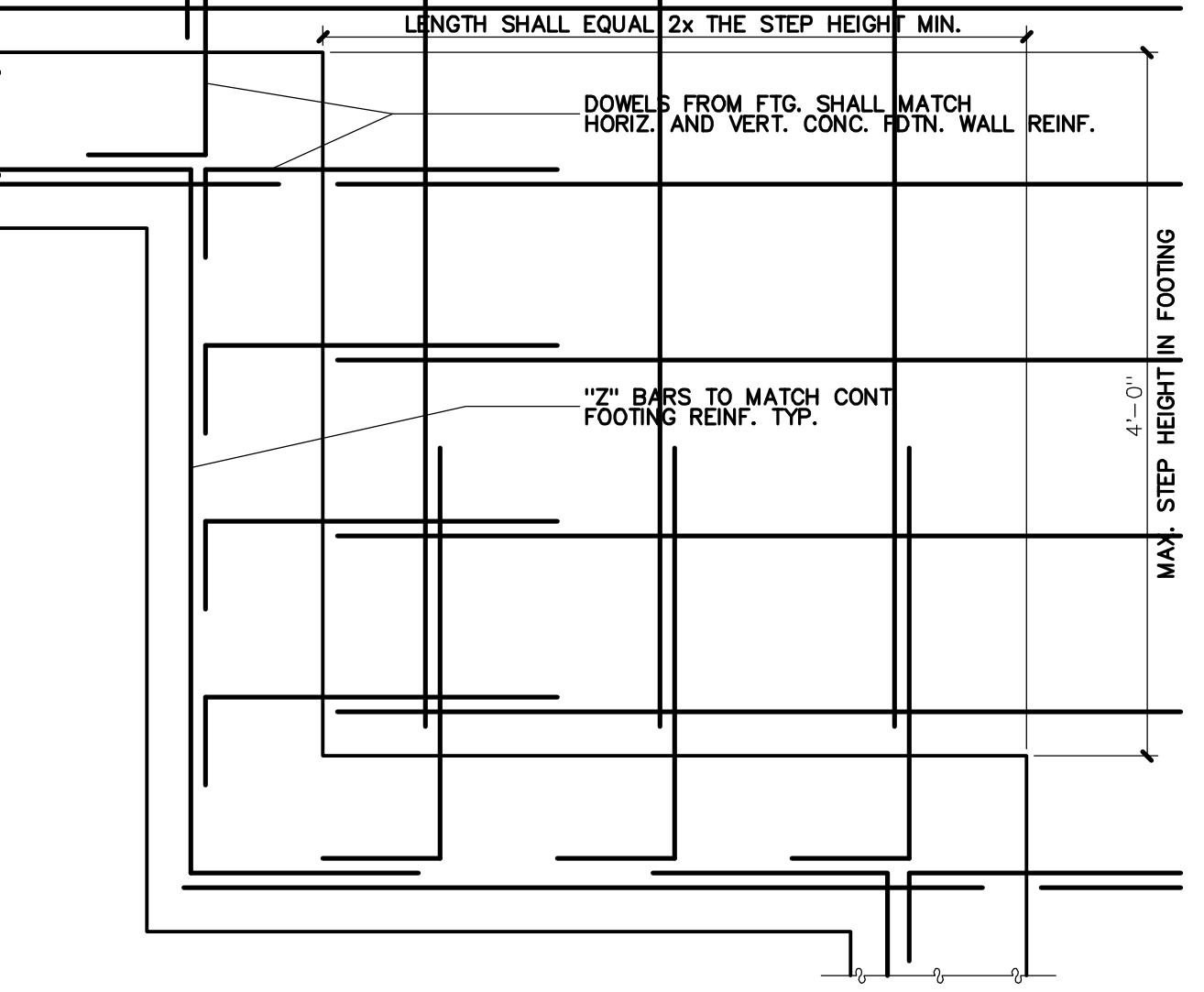
ROCK RETAINING WALL UP TO 10'-0" HEIGHT
NO SCALE



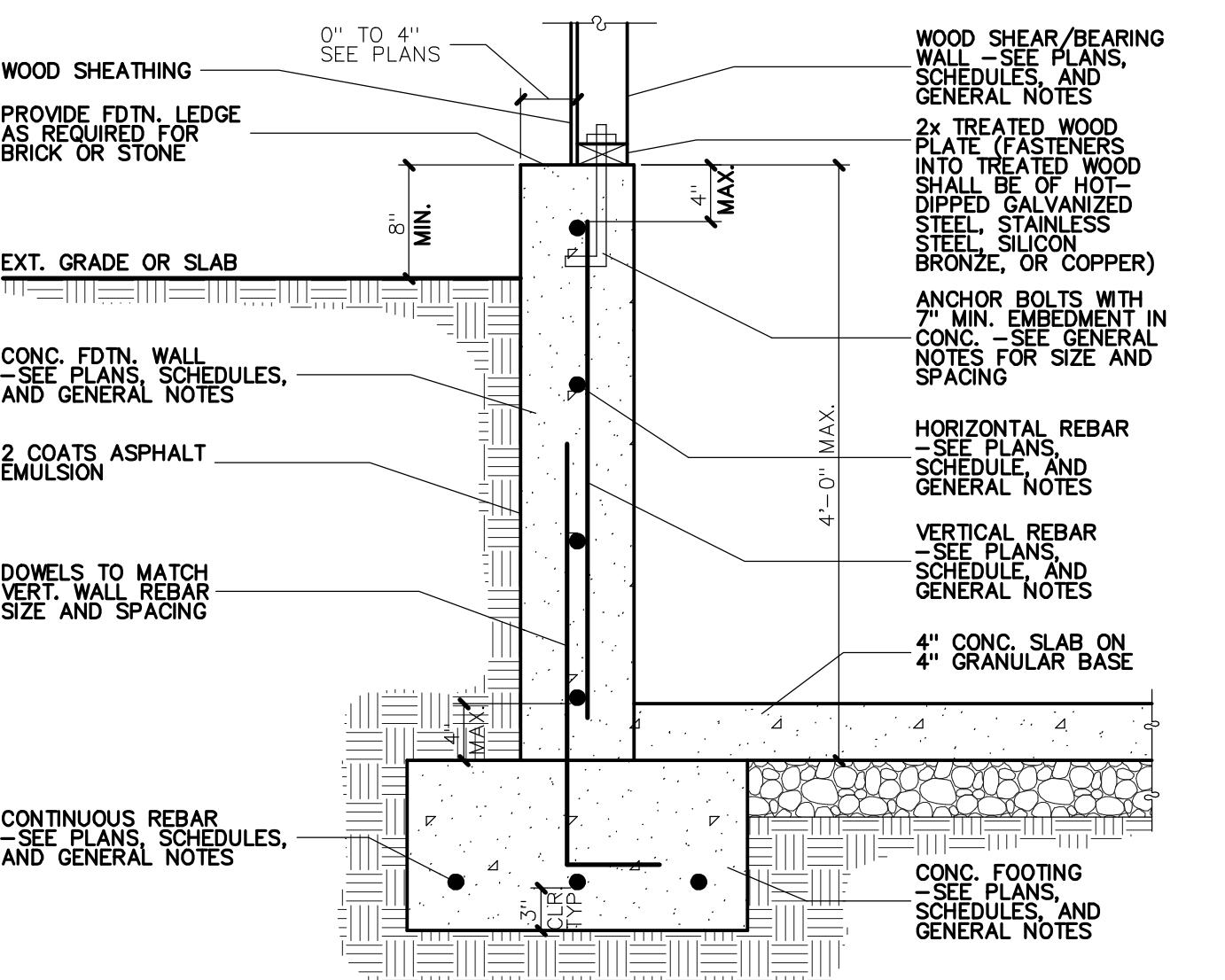
CONCRETE RETAINING WALL
NO SCALE



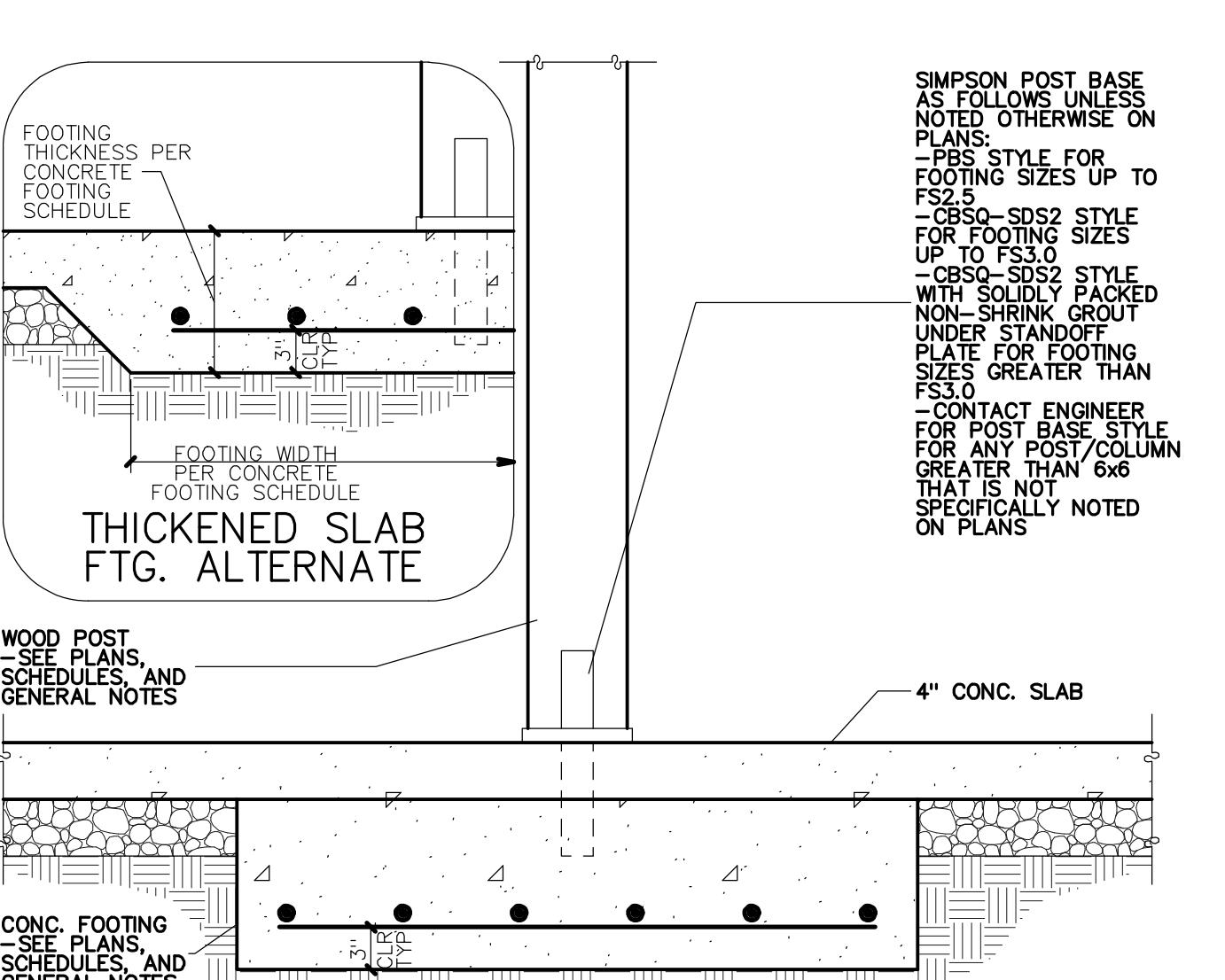
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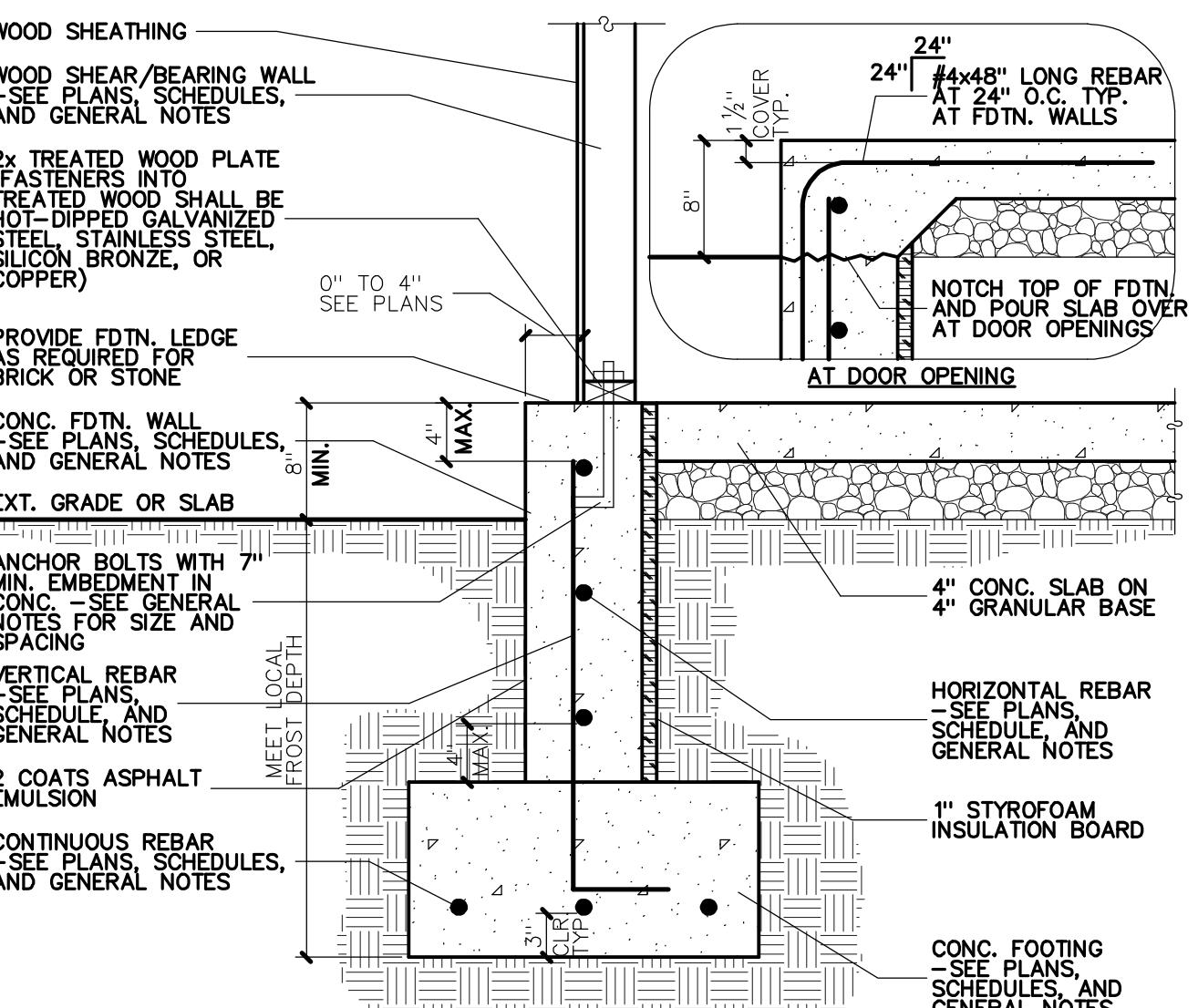
STEPPED FOOTING DETAIL
NO SCALE

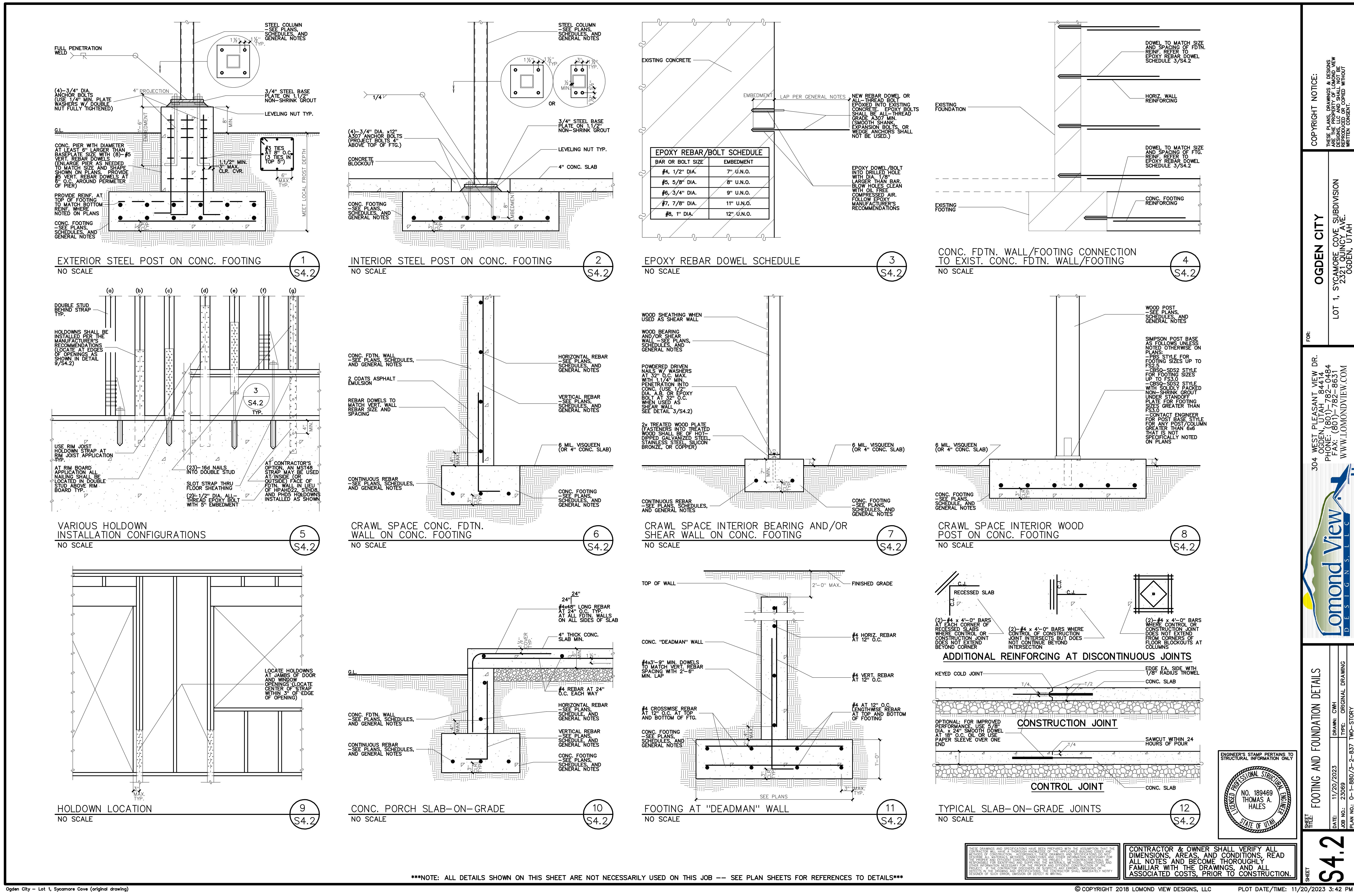


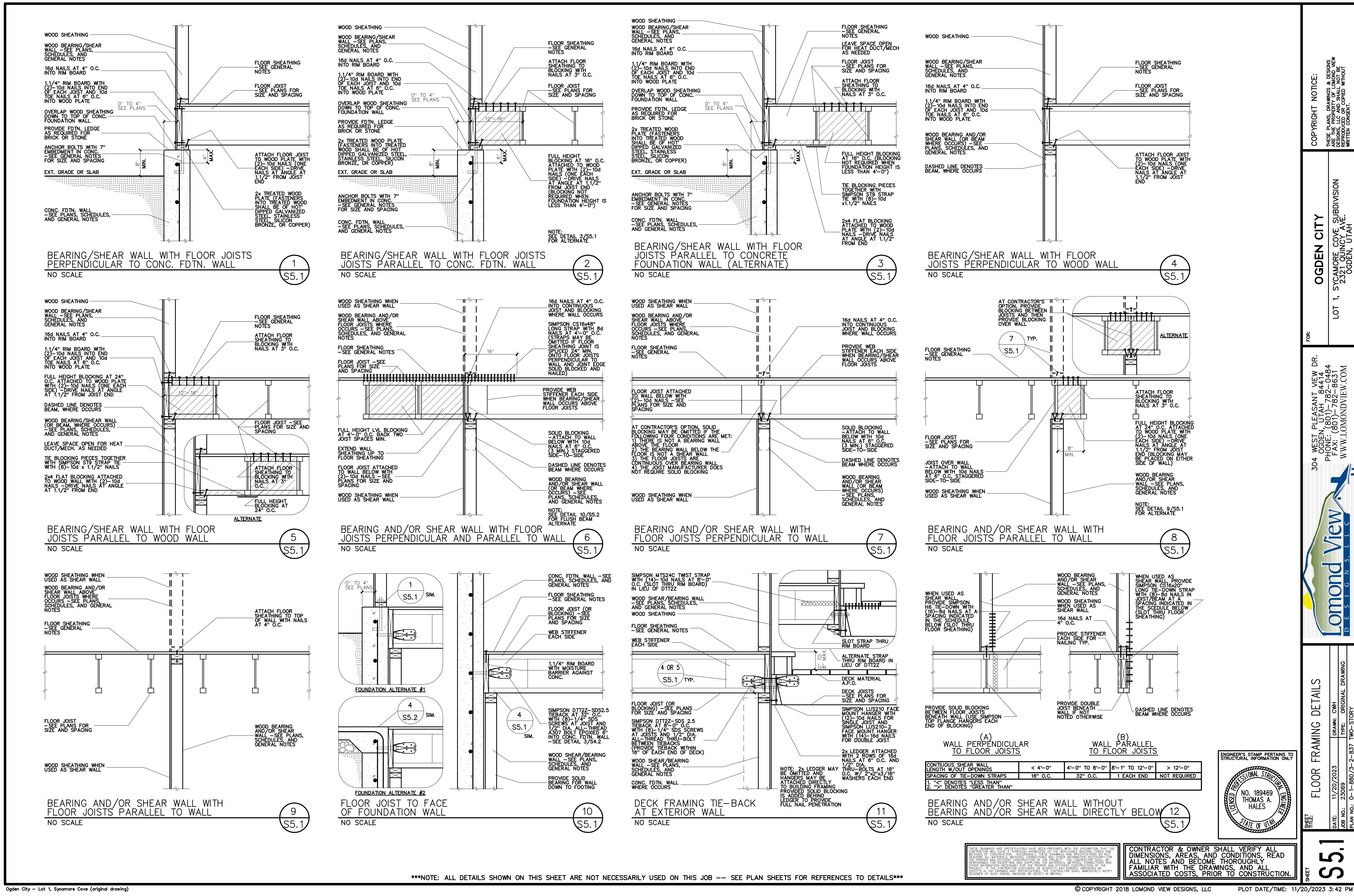
4'-0" FOUNDATION WALL ON FOOTING
NO SCALE

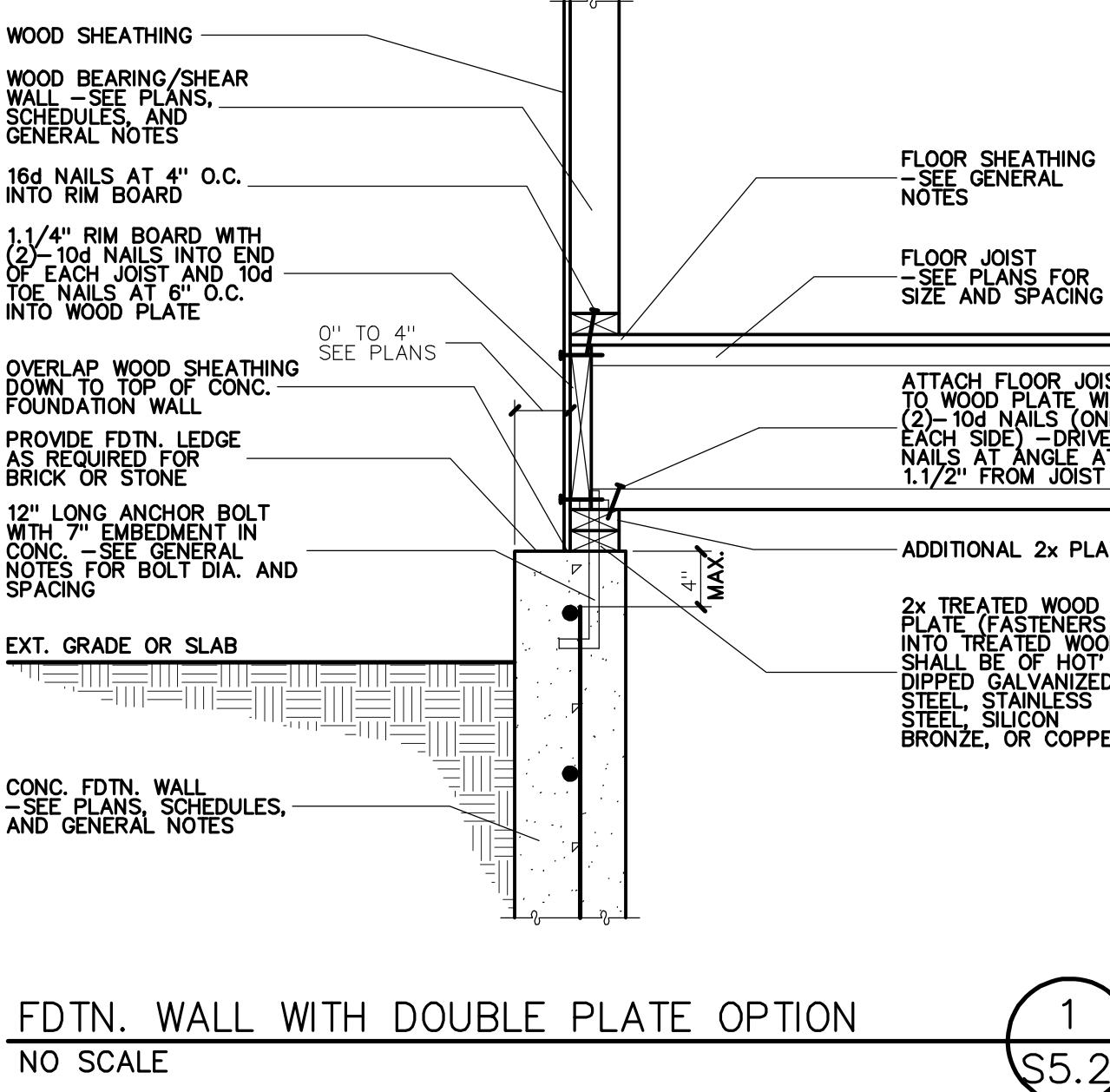


FOUNDATION WALL ON FOOTING
NO SCALE

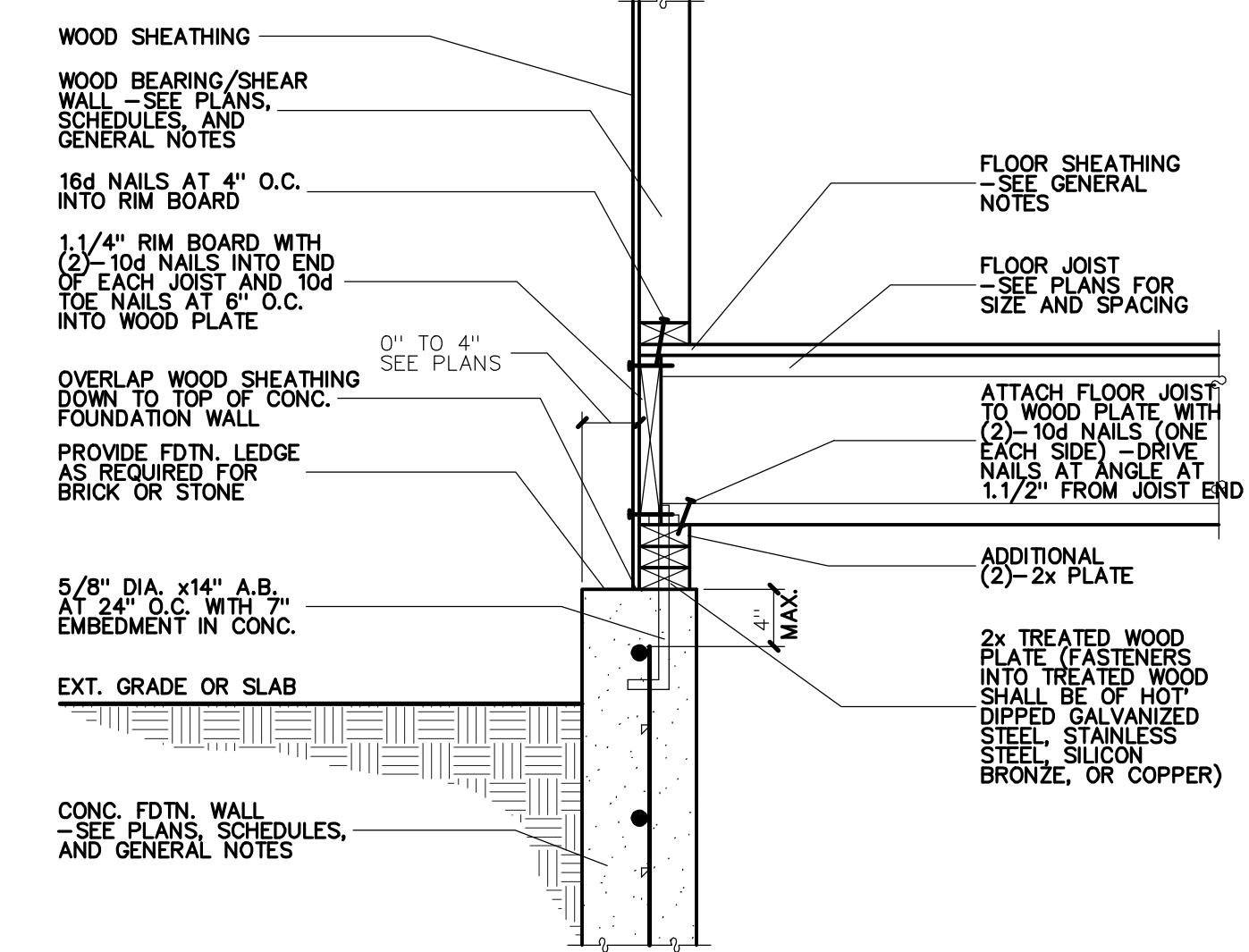




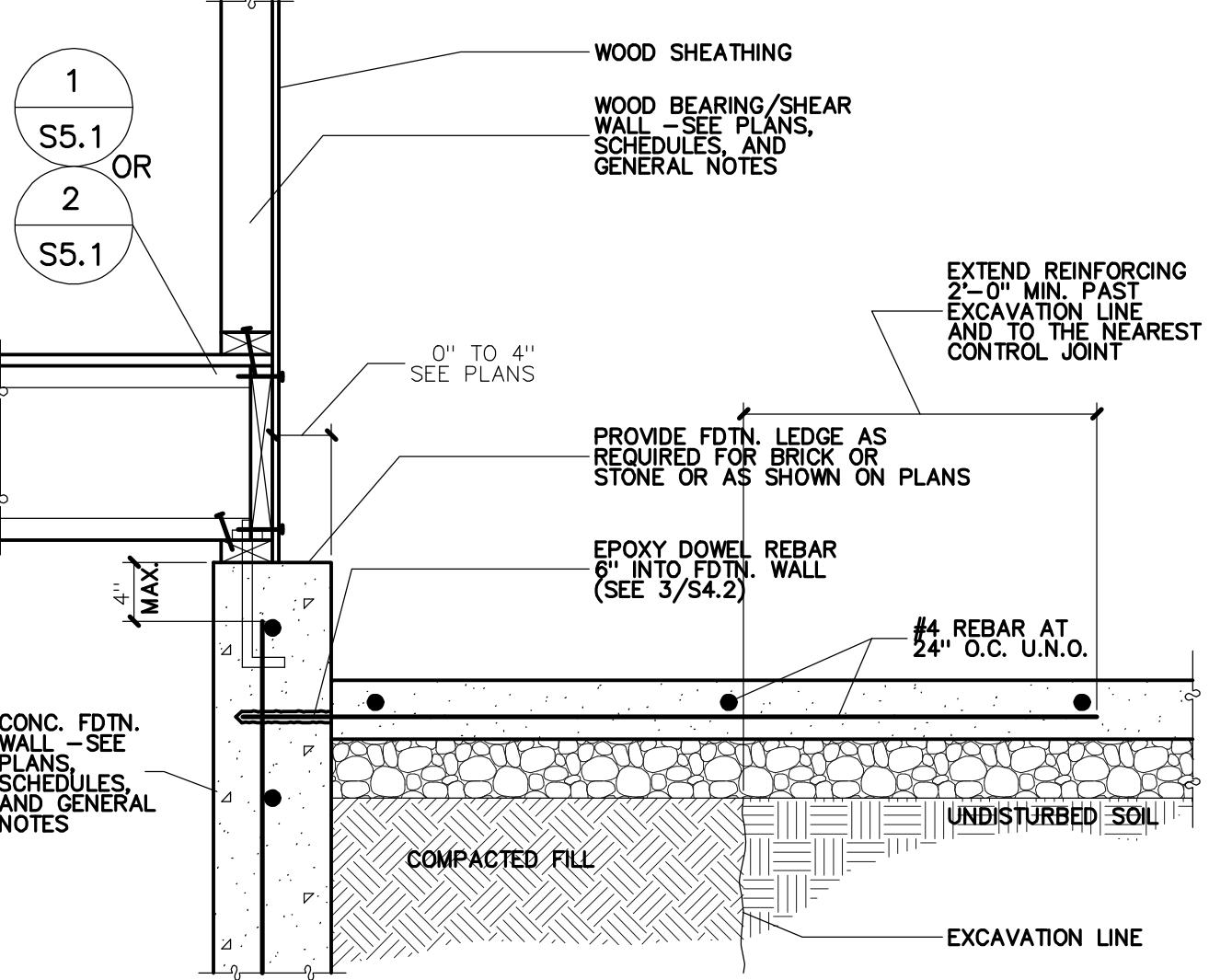




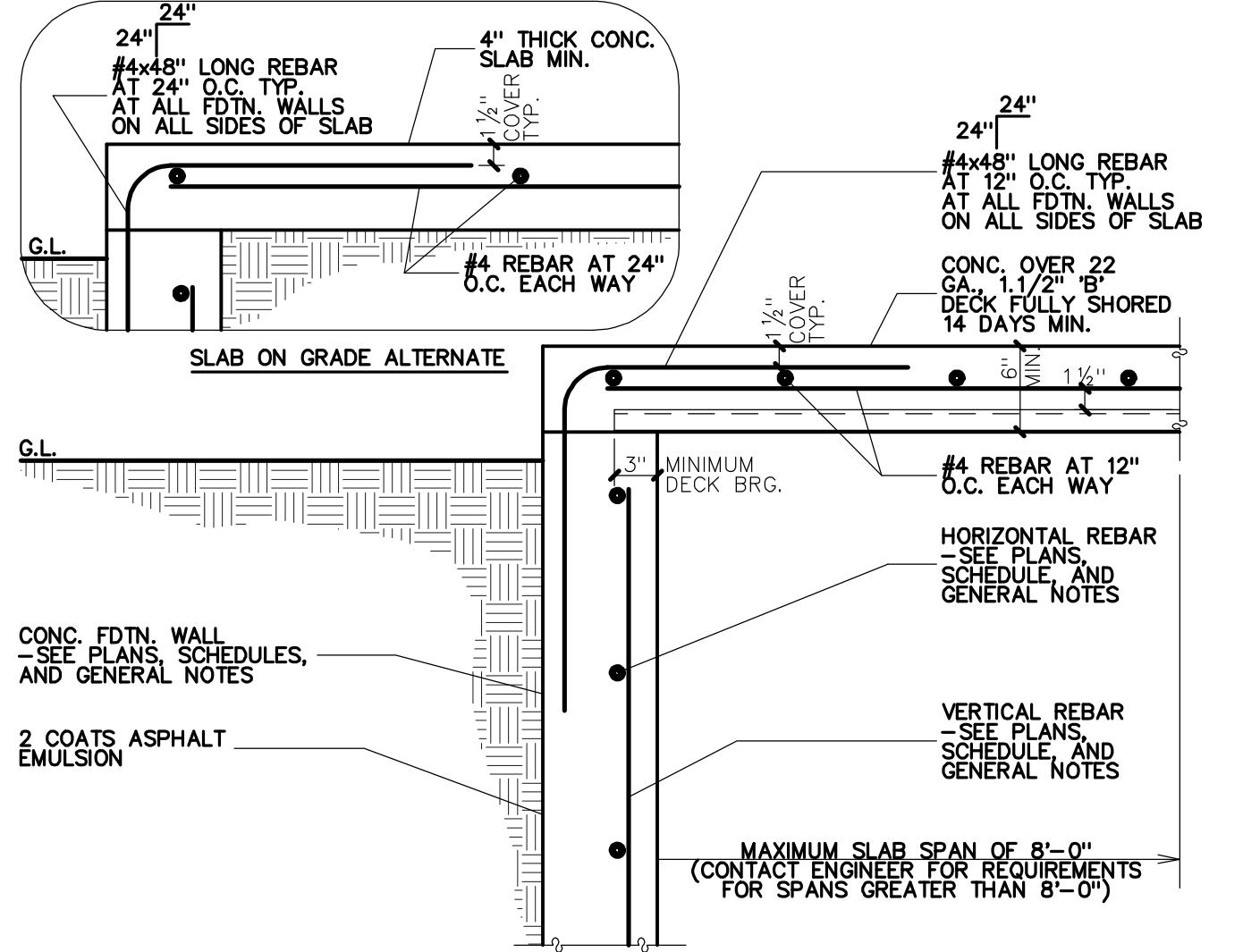
FDTN. WALL WITH DOUBLE PLATE OPTION
NO SCALE
1 S5.2



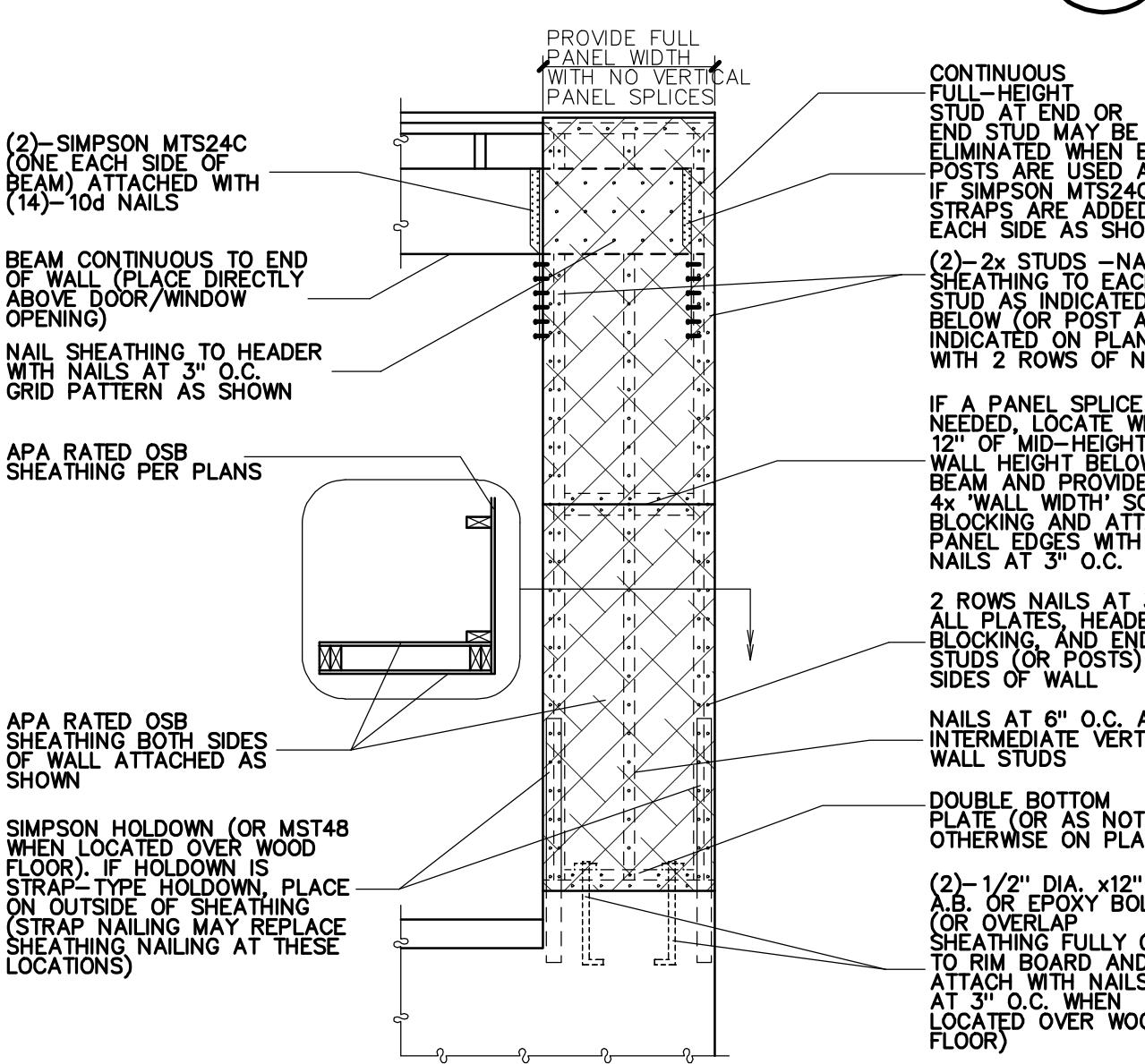
FDTN. WALL WITH TRIPLE PLATE OPTION
NO SCALE
2 S5.2



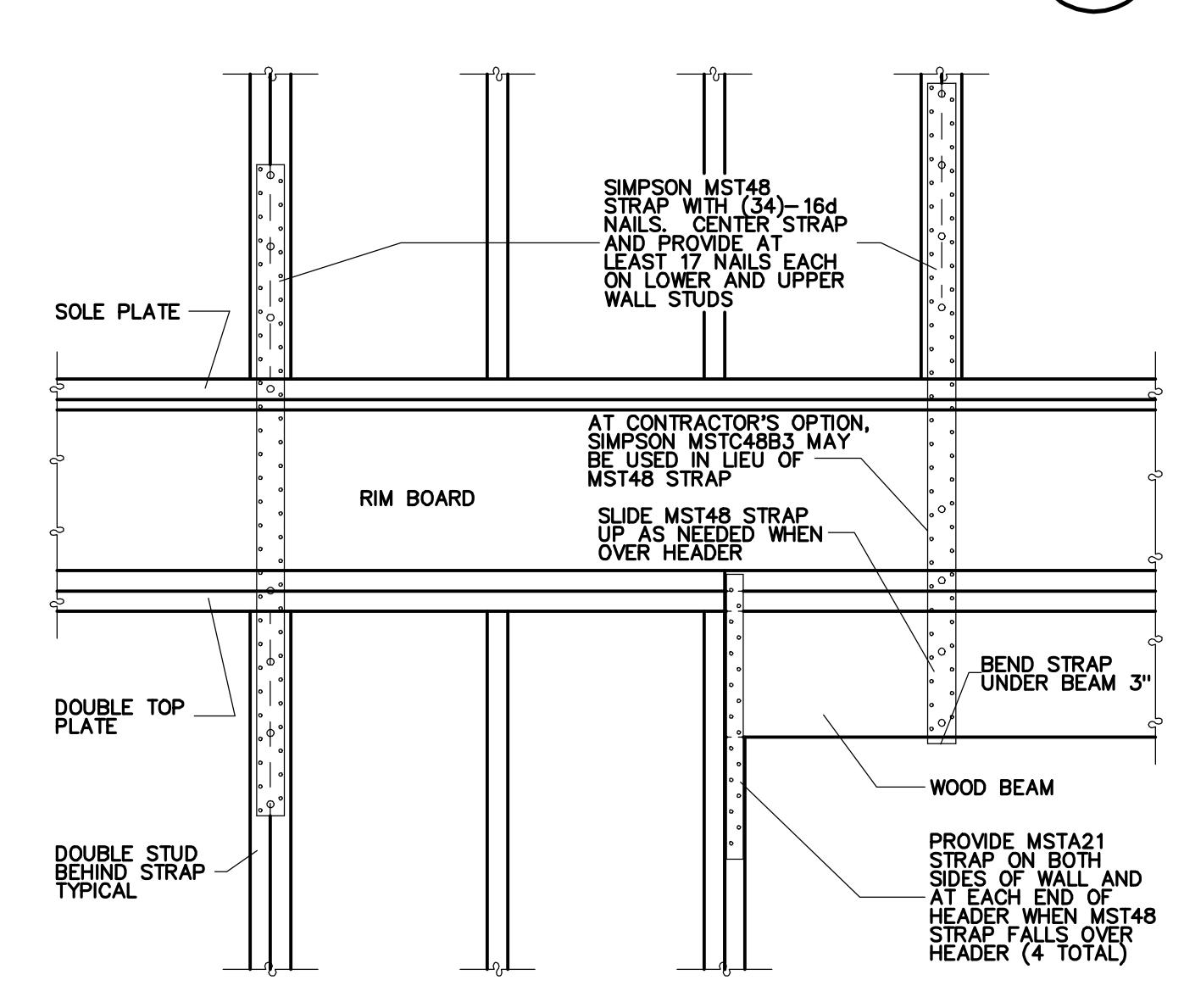
REBAR DOWELS FOR CONC. SLAB AT CONC. FDTN.
NO SCALE
3 S5.2



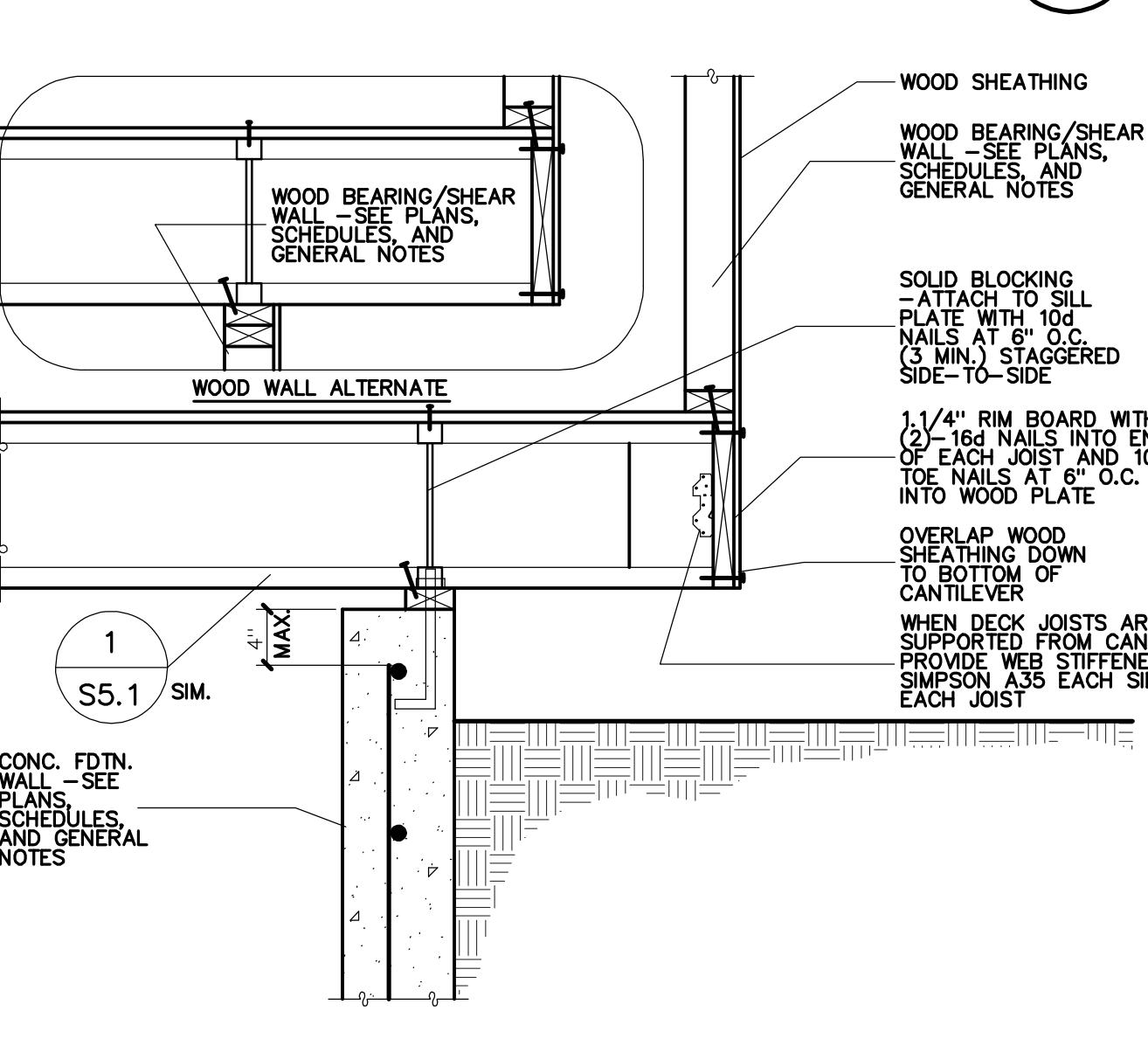
CONC. PORCH SUSPENDED SLAB
NO SCALE
4 S5.2



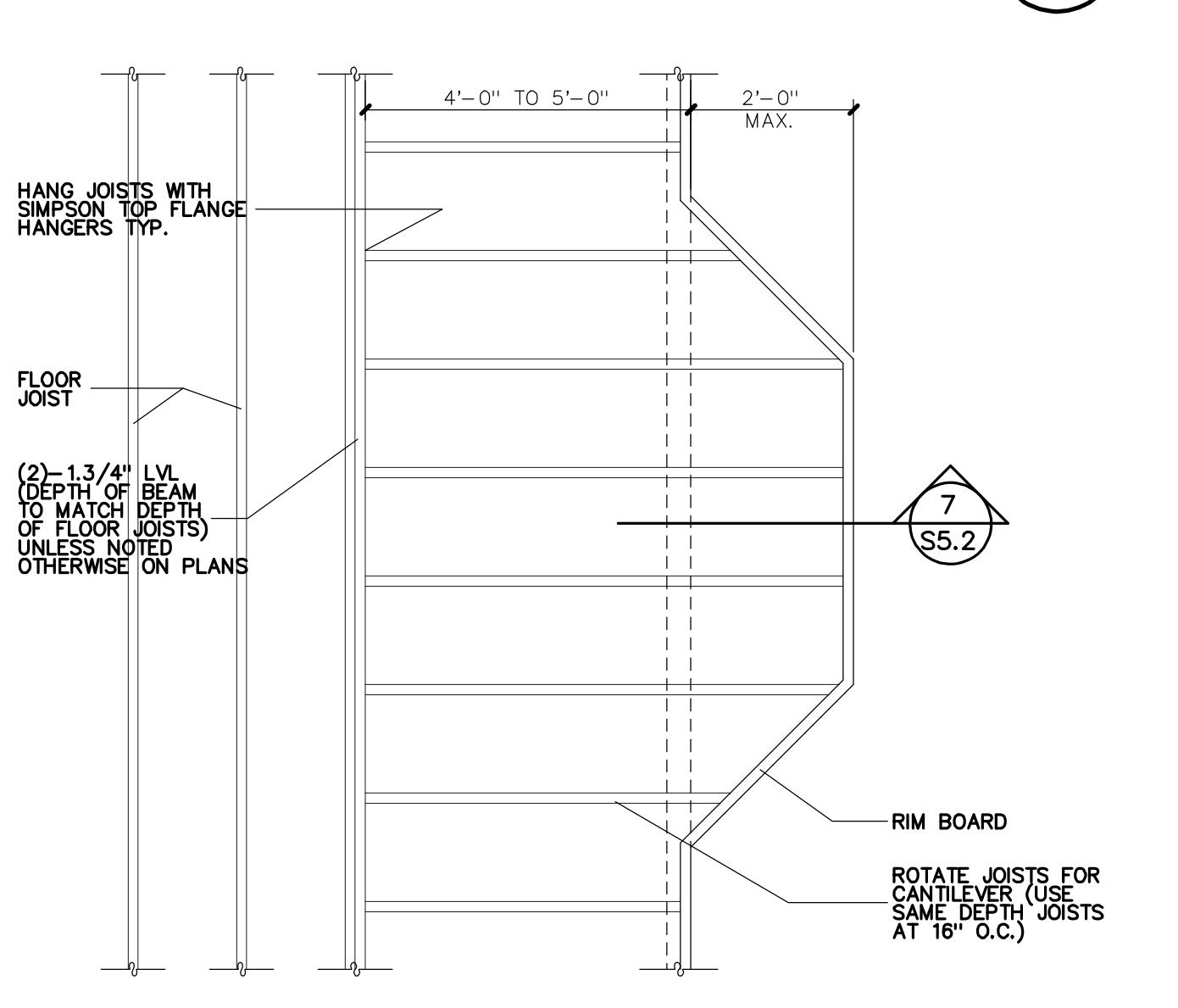
SW5 SHEAR WALL CONSTRUCTION
NO SCALE
5 S5.2



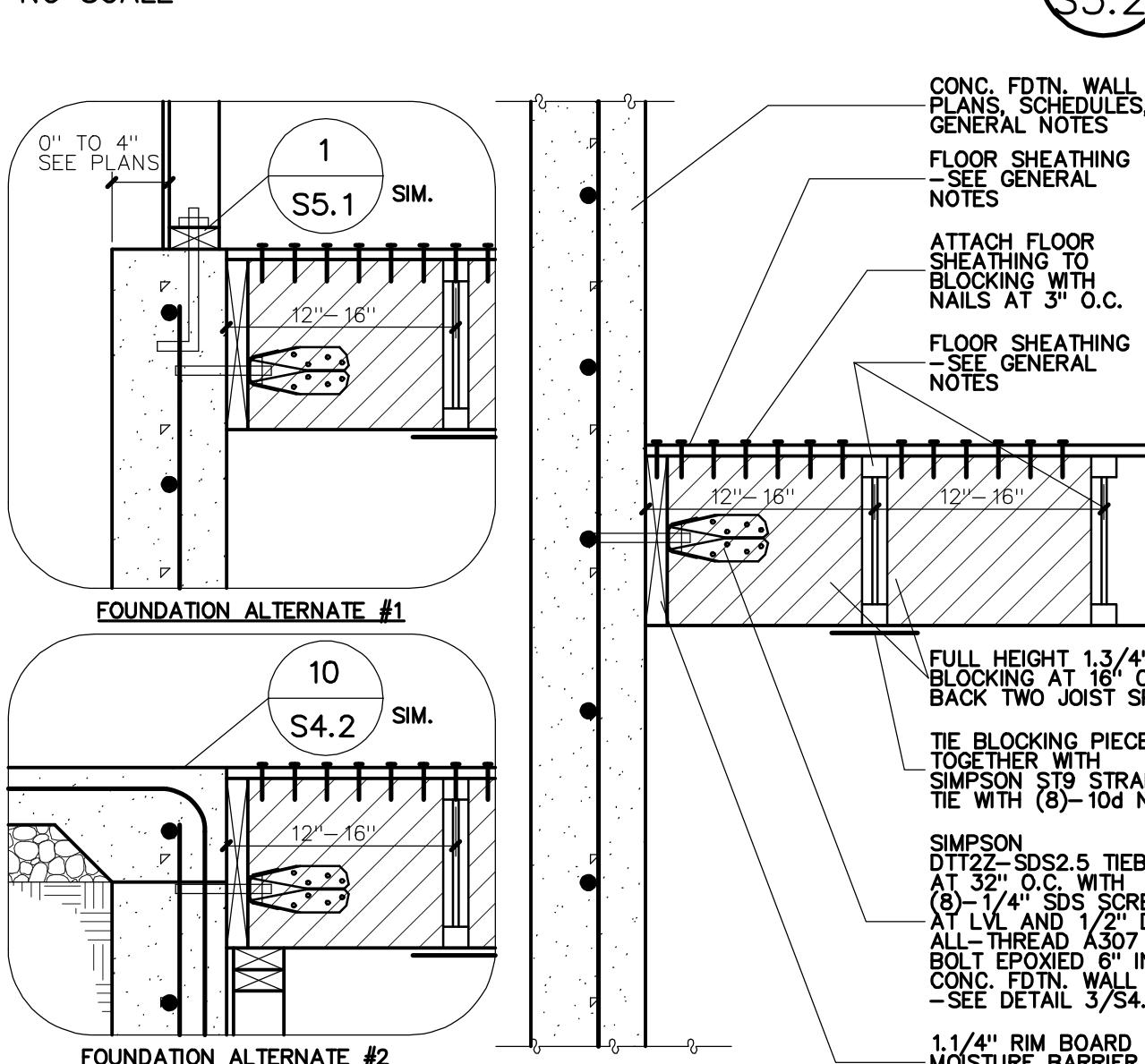
MST48 AND MSTA21
FLOOR-TO-FLOOR ATTACHMENT
NO SCALE
6 S5.2



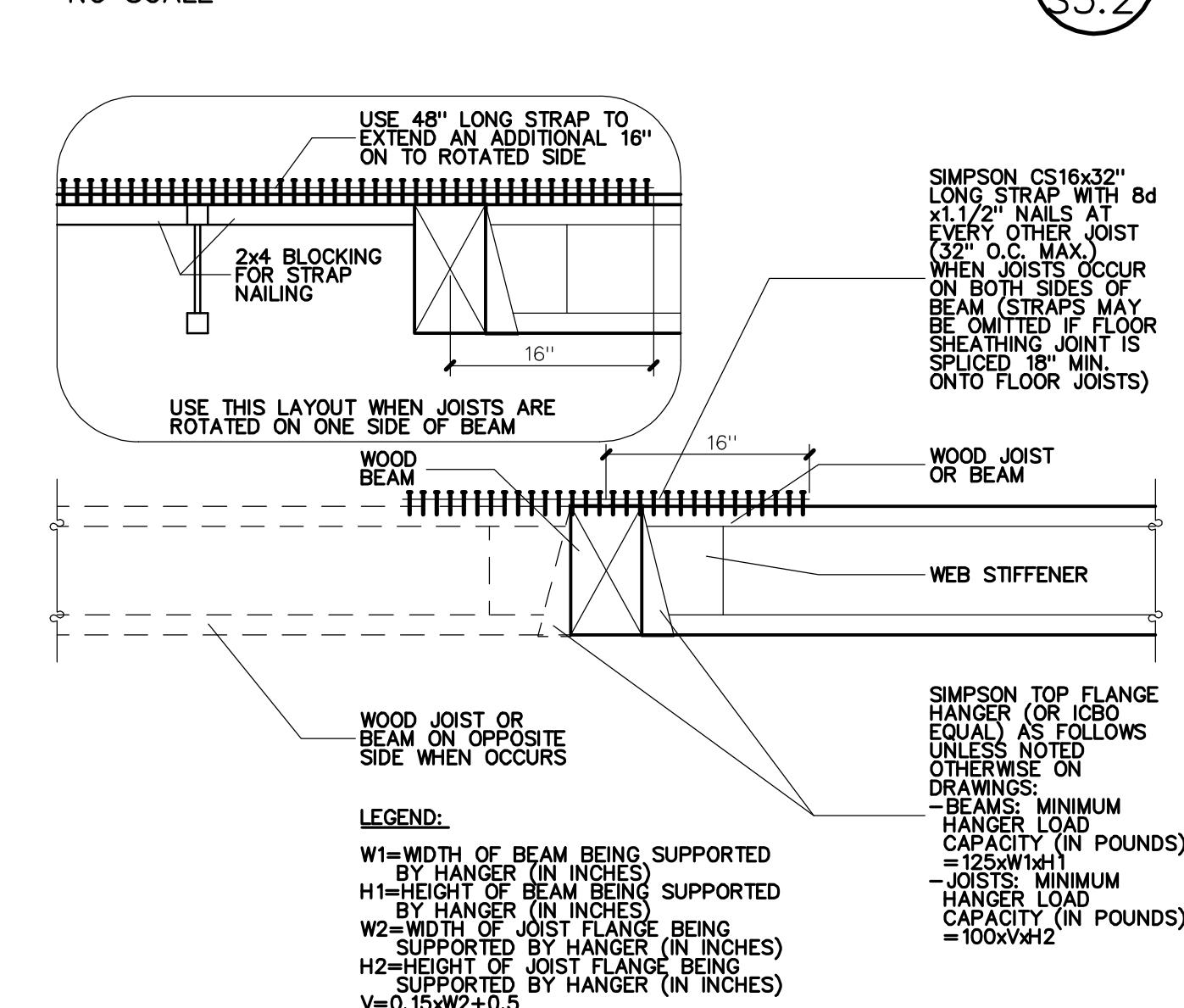
CANTILEVERED FLOOR LAYOUT WHEN
PERPENDICULAR TO FLOOR JOISTS
NO SCALE
7 S5.2



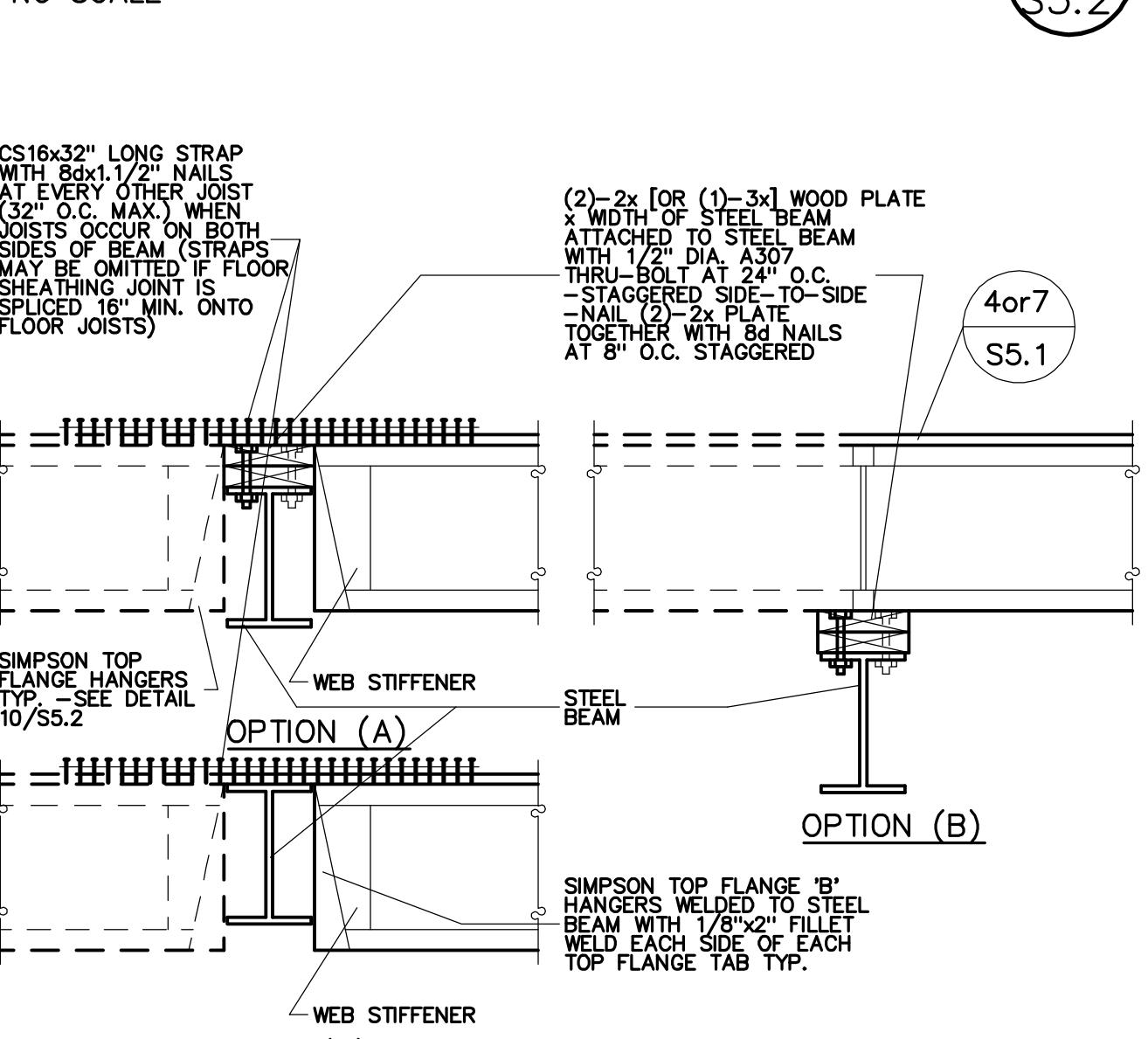
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PERPENDICULAR TO FLOOR JOISTS
NO SCALE
8 S5.2



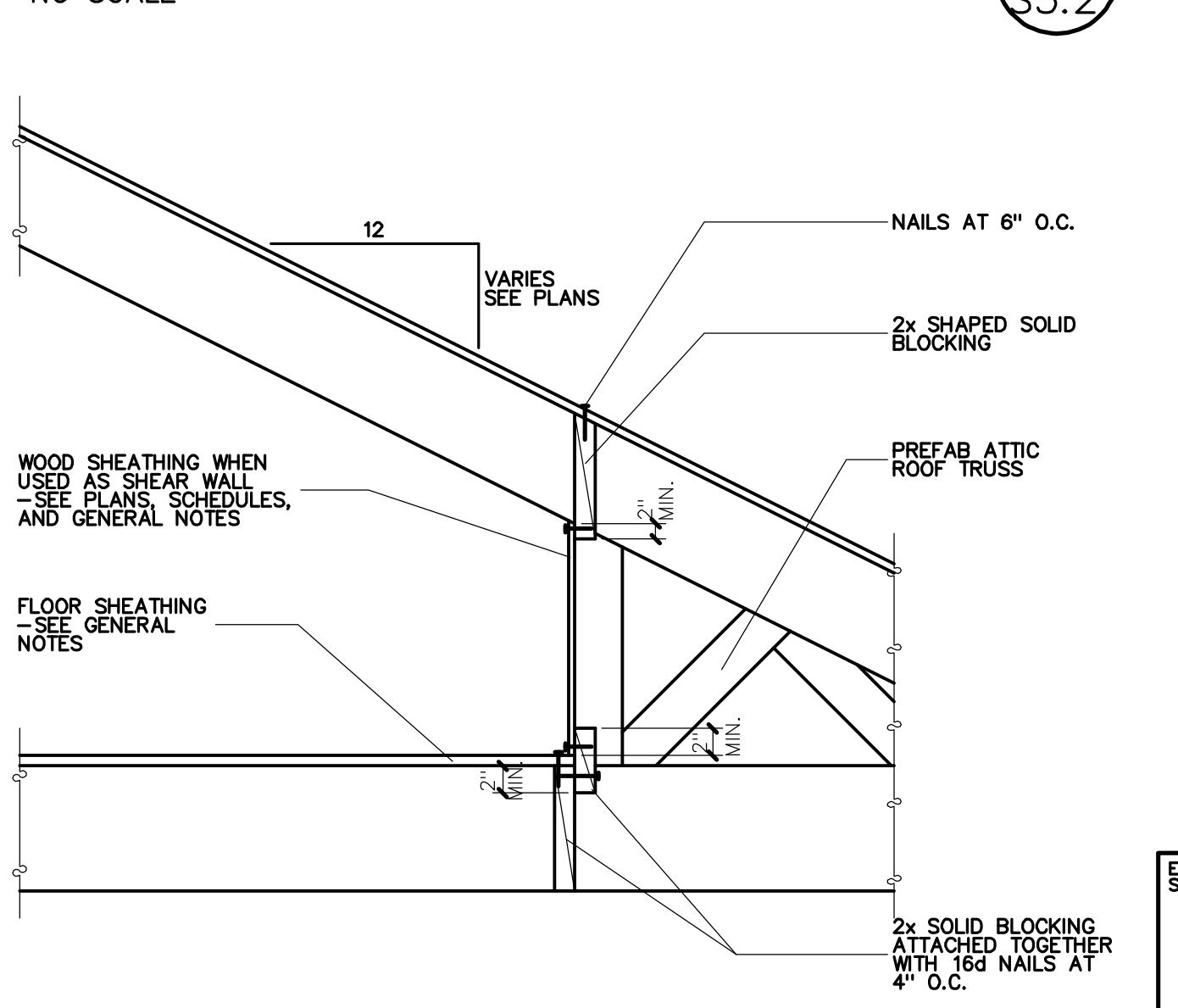
FLOOR JOIST TO FACE OF FOUNDATION WALL
NO SCALE
9 S5.2



WOOD JOIST OR BEAM TO
WOOD BEAM CONNECTION
NO SCALE
10 S5.2



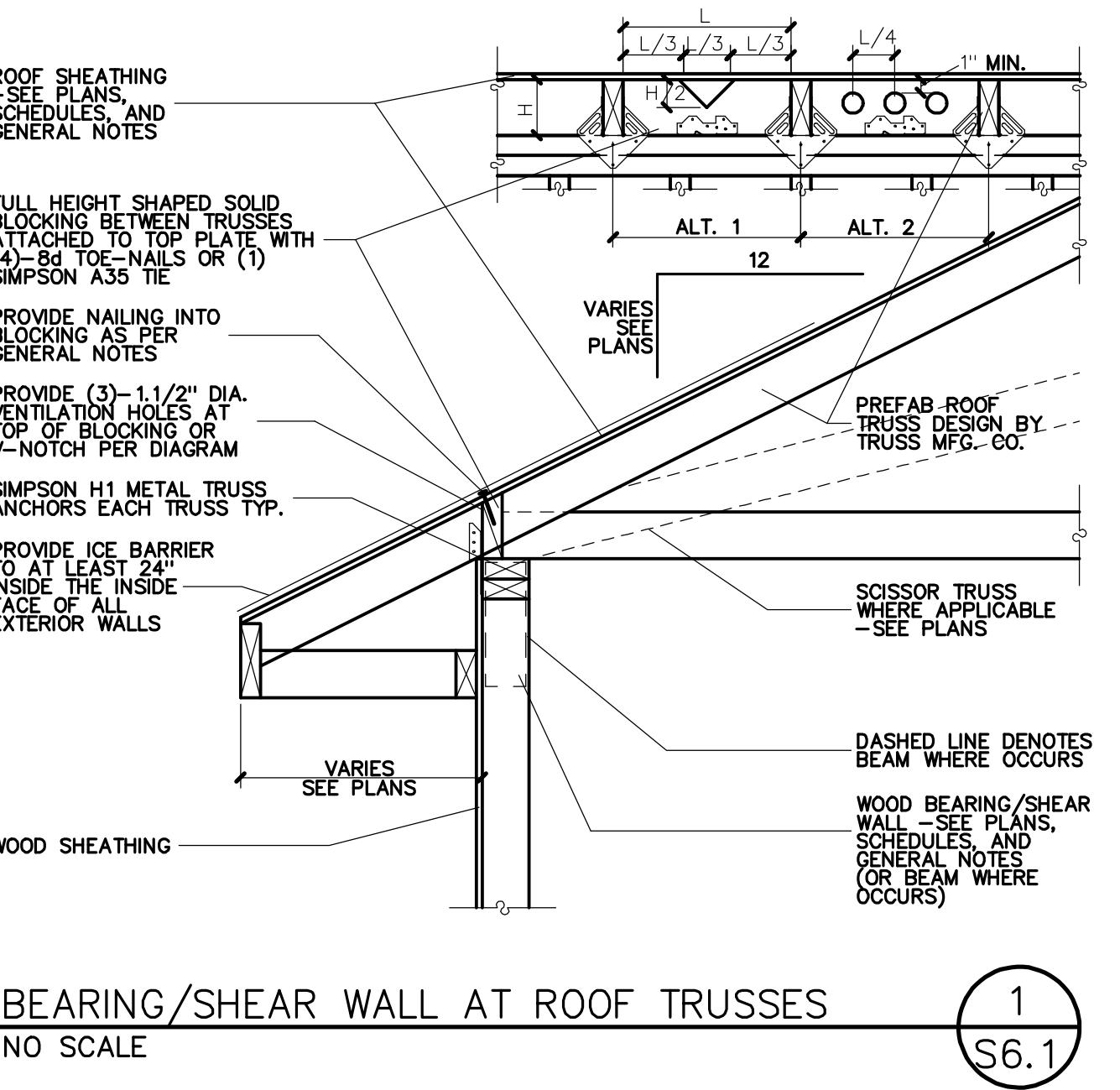
FLOOR JOIST SUPPORT AT STEEL BEAM
NO SCALE
11 S5.2



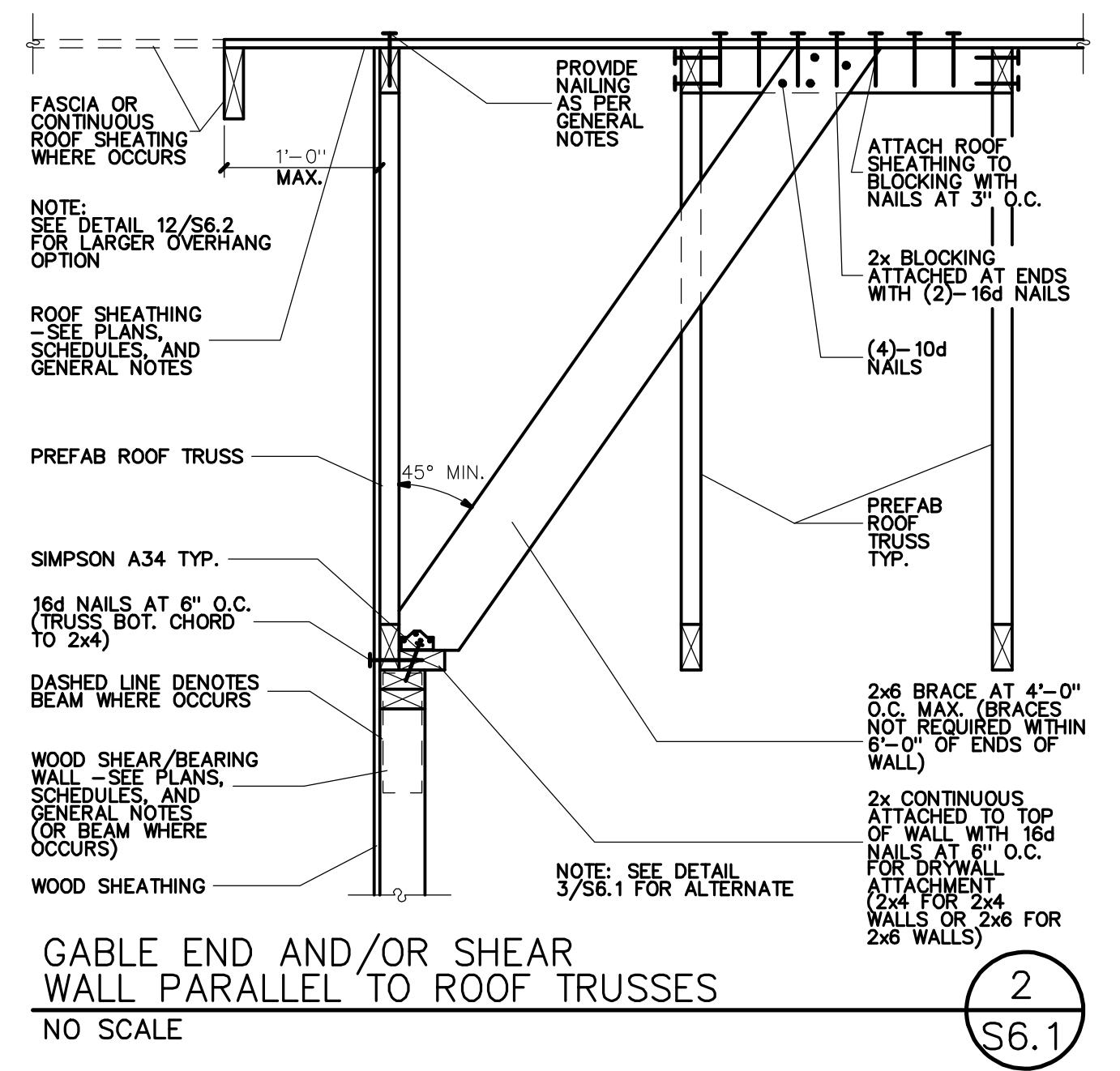
INTERIOR DIAPHRAGM ATTACHMENT
AT ATTIC TRUSS FLOOR
NO SCALE
12 S5.2

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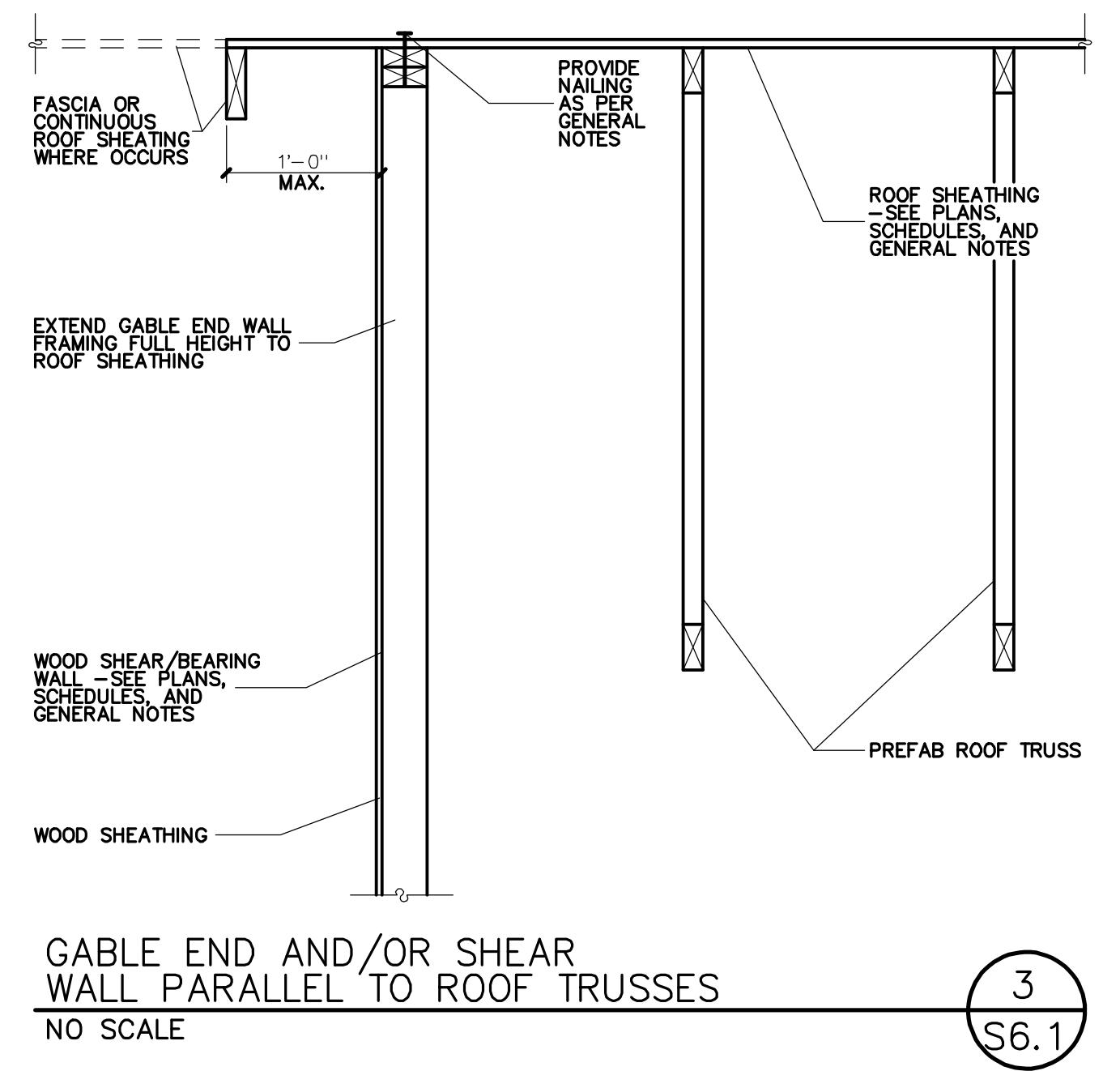
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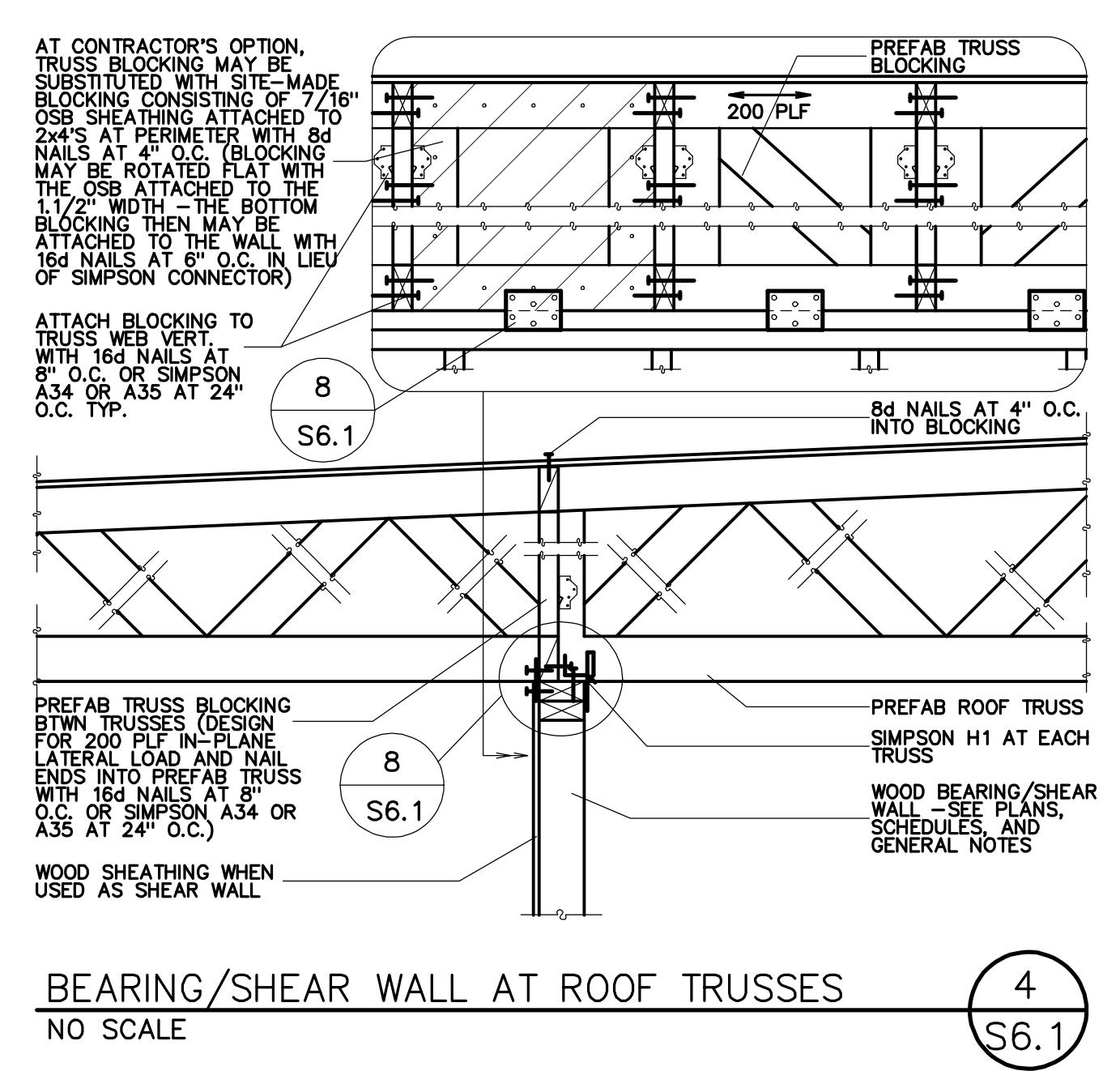
BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE



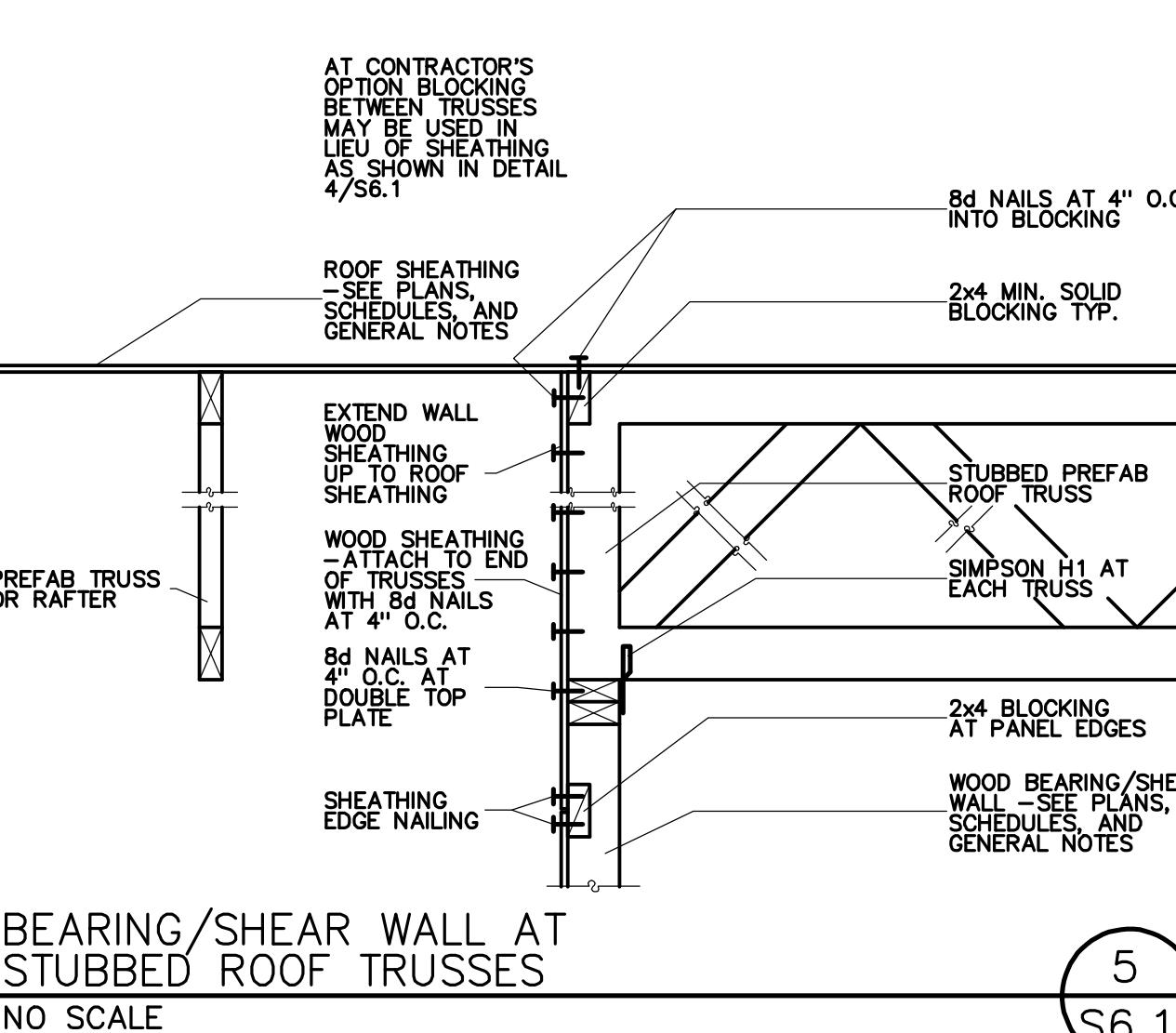
GABLE END AND/OR SHEAR
WALL PARALLEL TO ROOF TRUSSES
NO SCALE



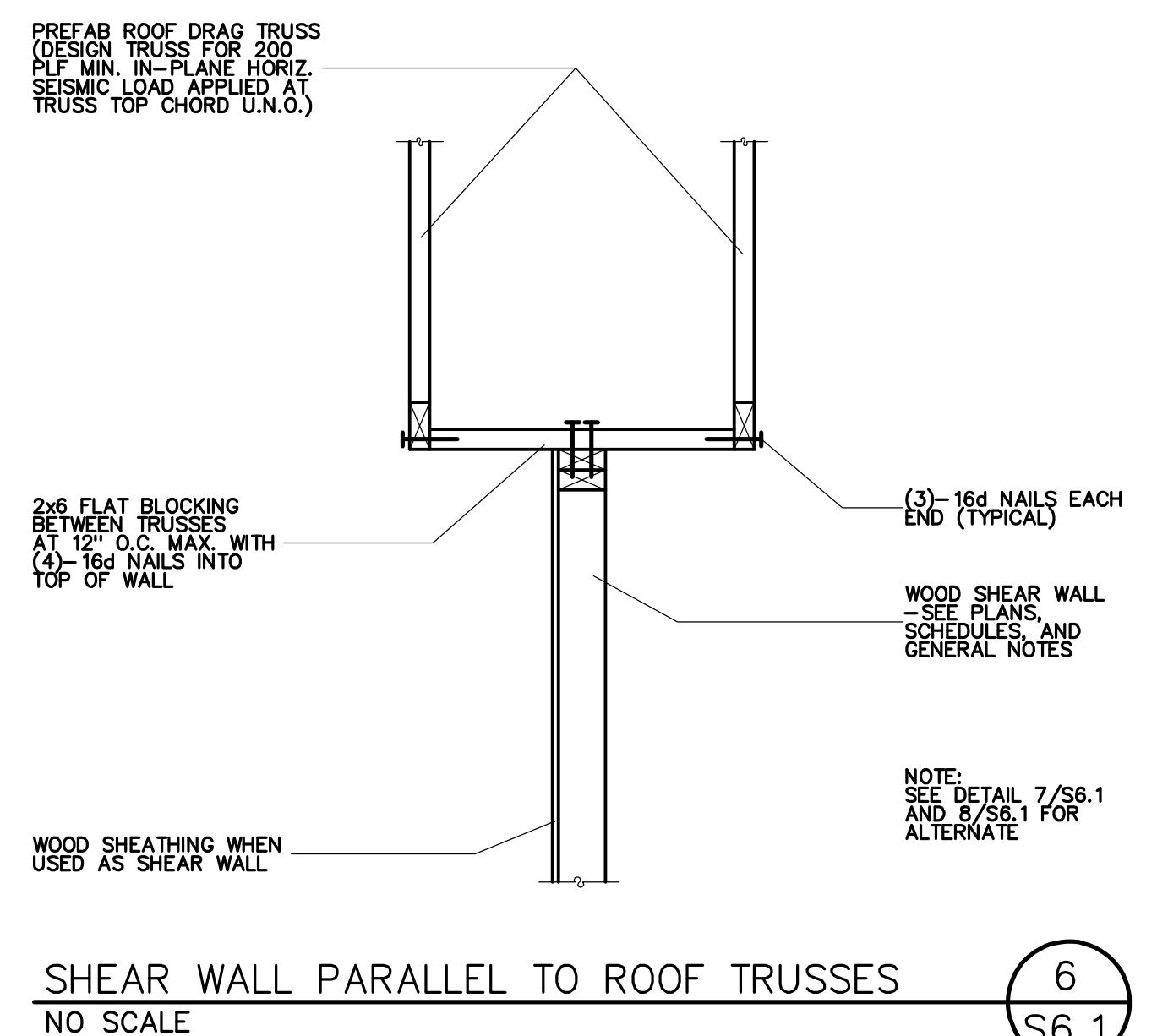
GABLE END AND/OR SHEAR
WALL PARALLEL TO ROOF TRUSSES
NO SCALE



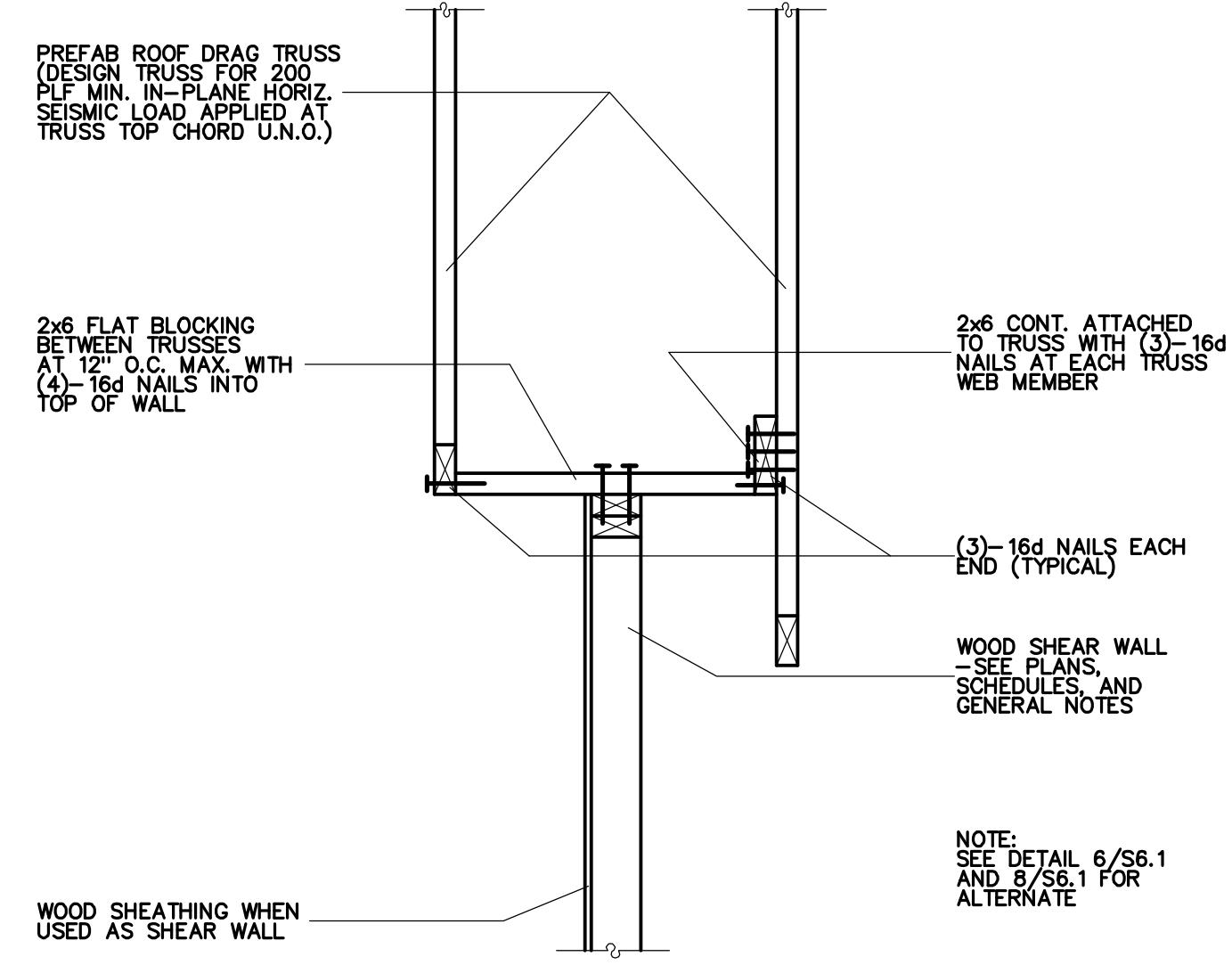
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NO SCALE



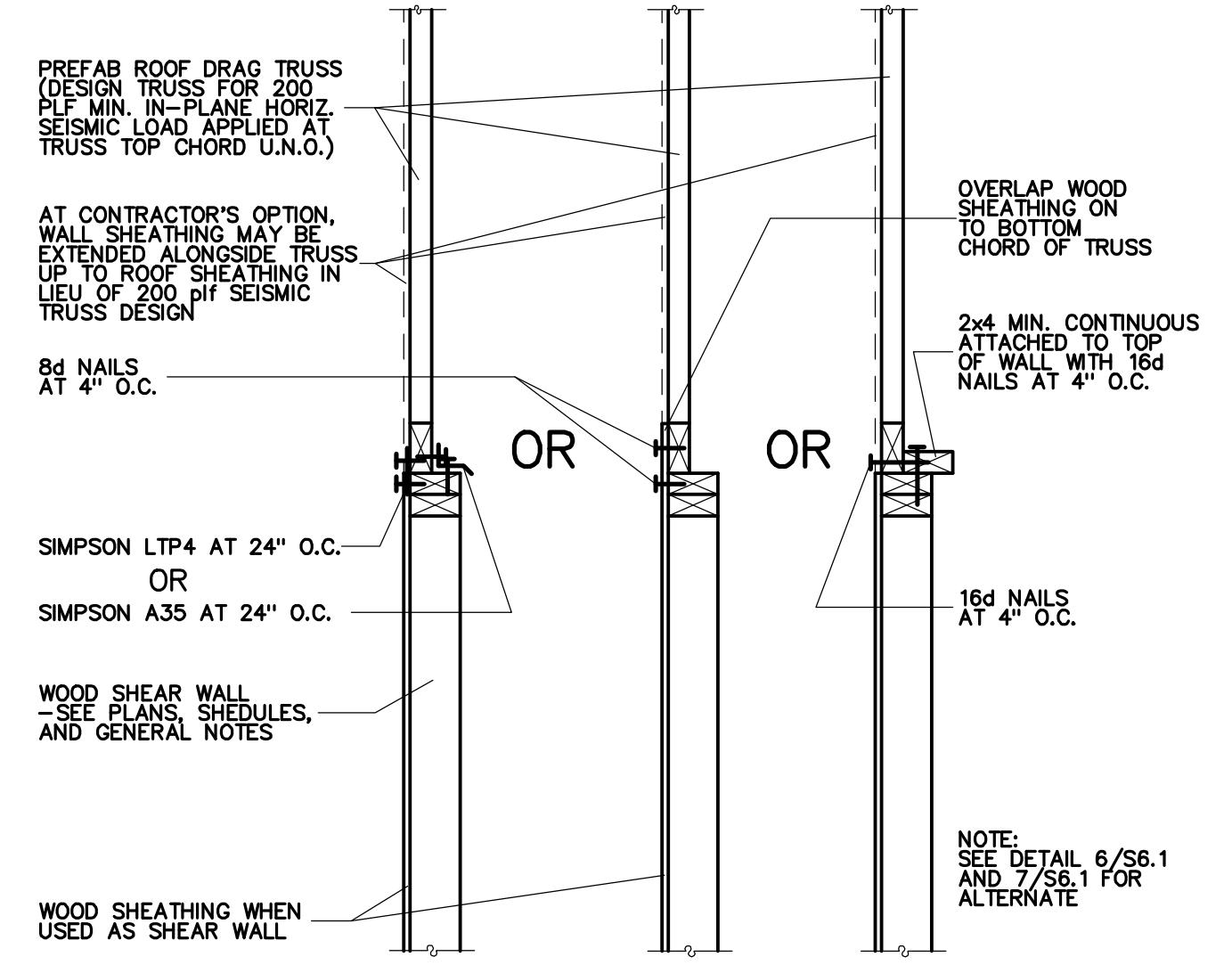
BEARING/SHEAR WALL AT
STUBBED ROOF TRUSSES
NO SCALE



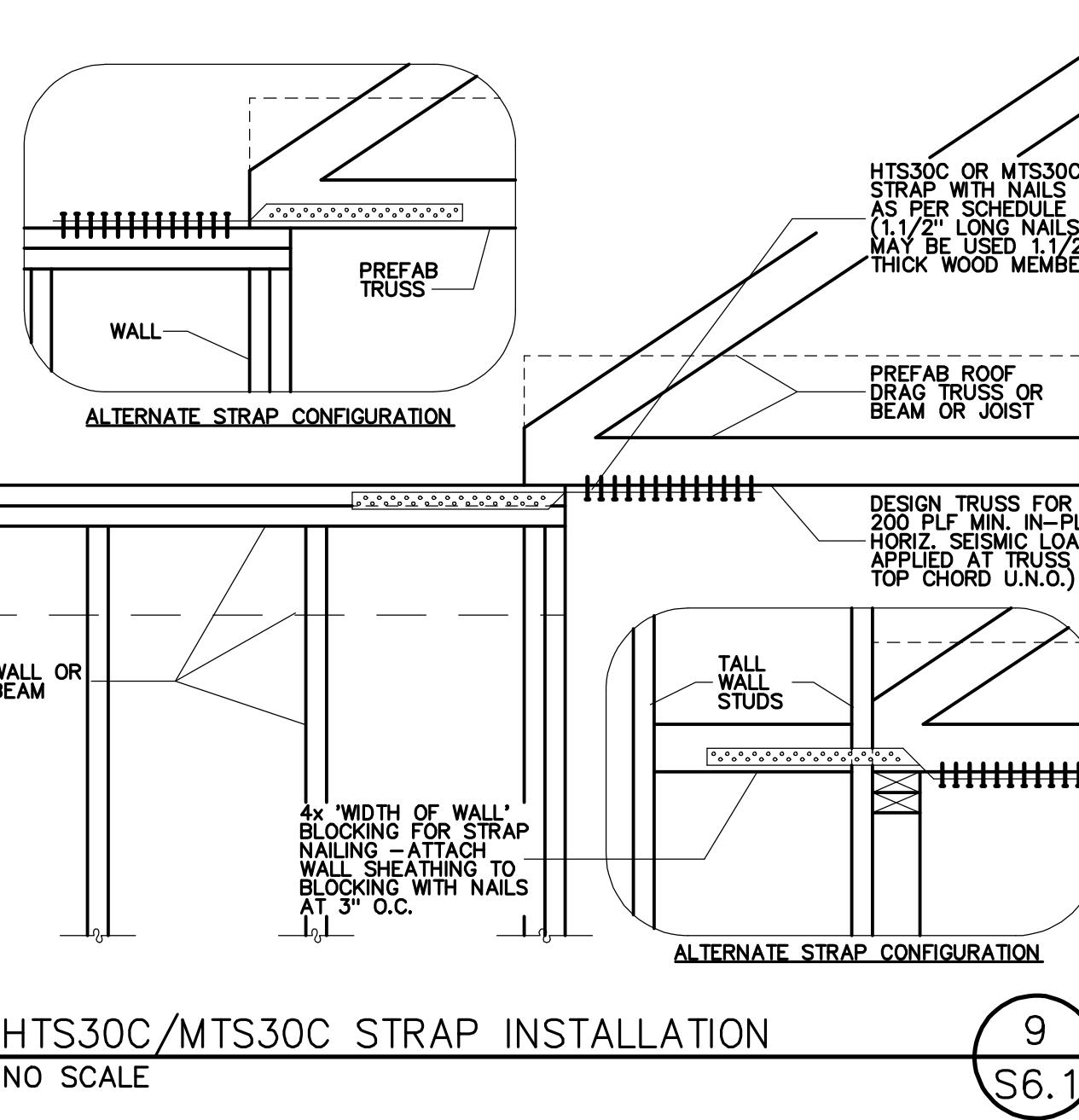
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NO SCALE



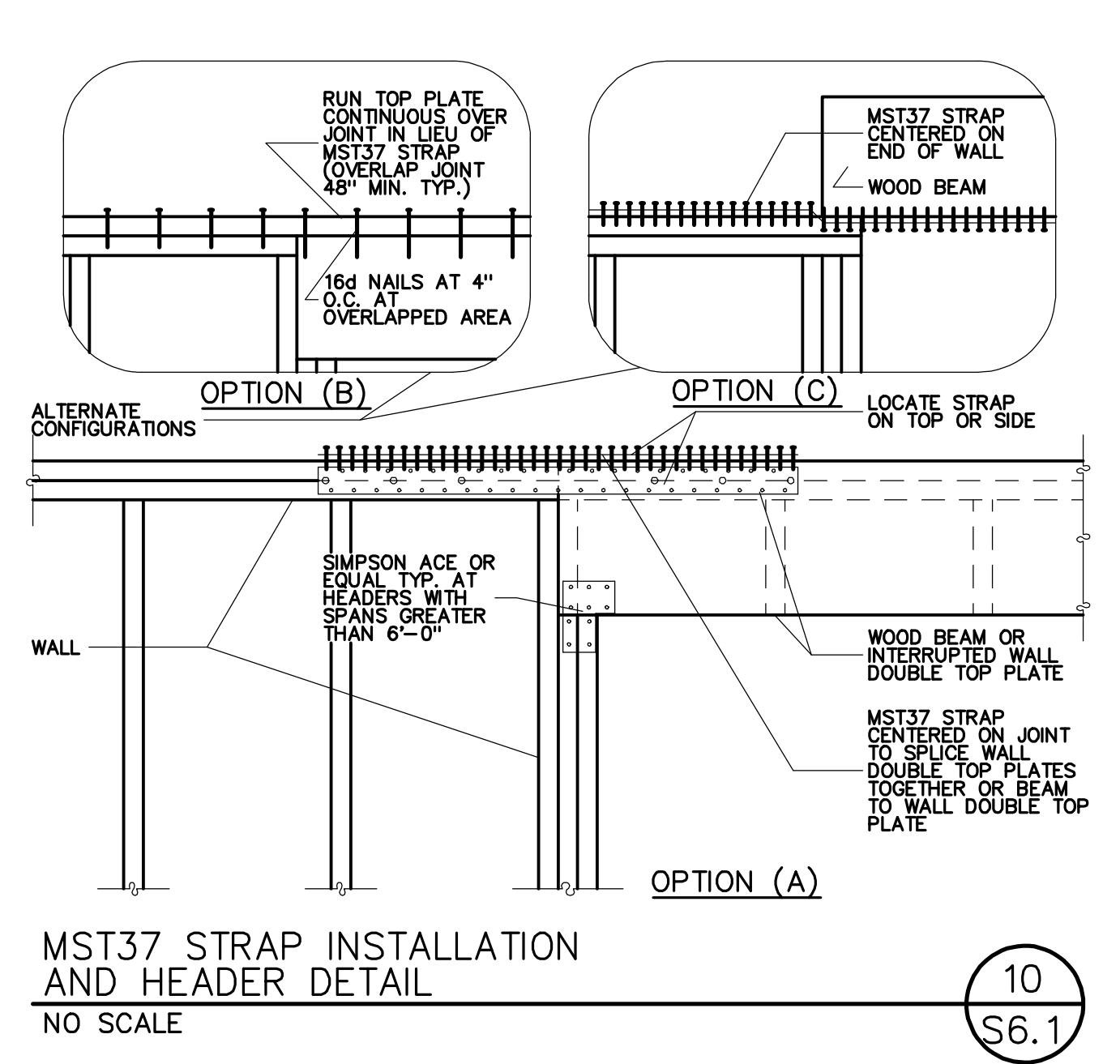
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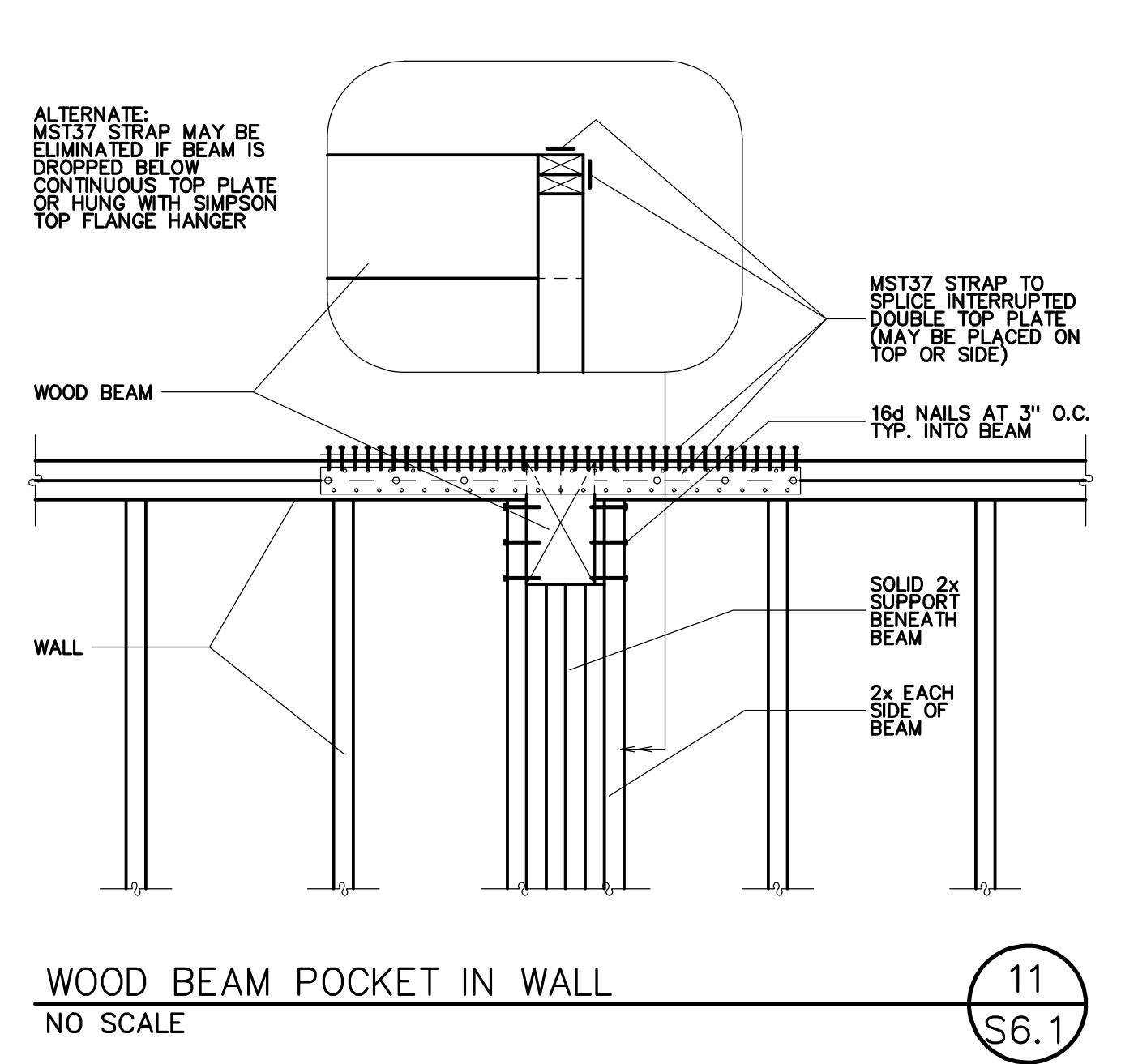
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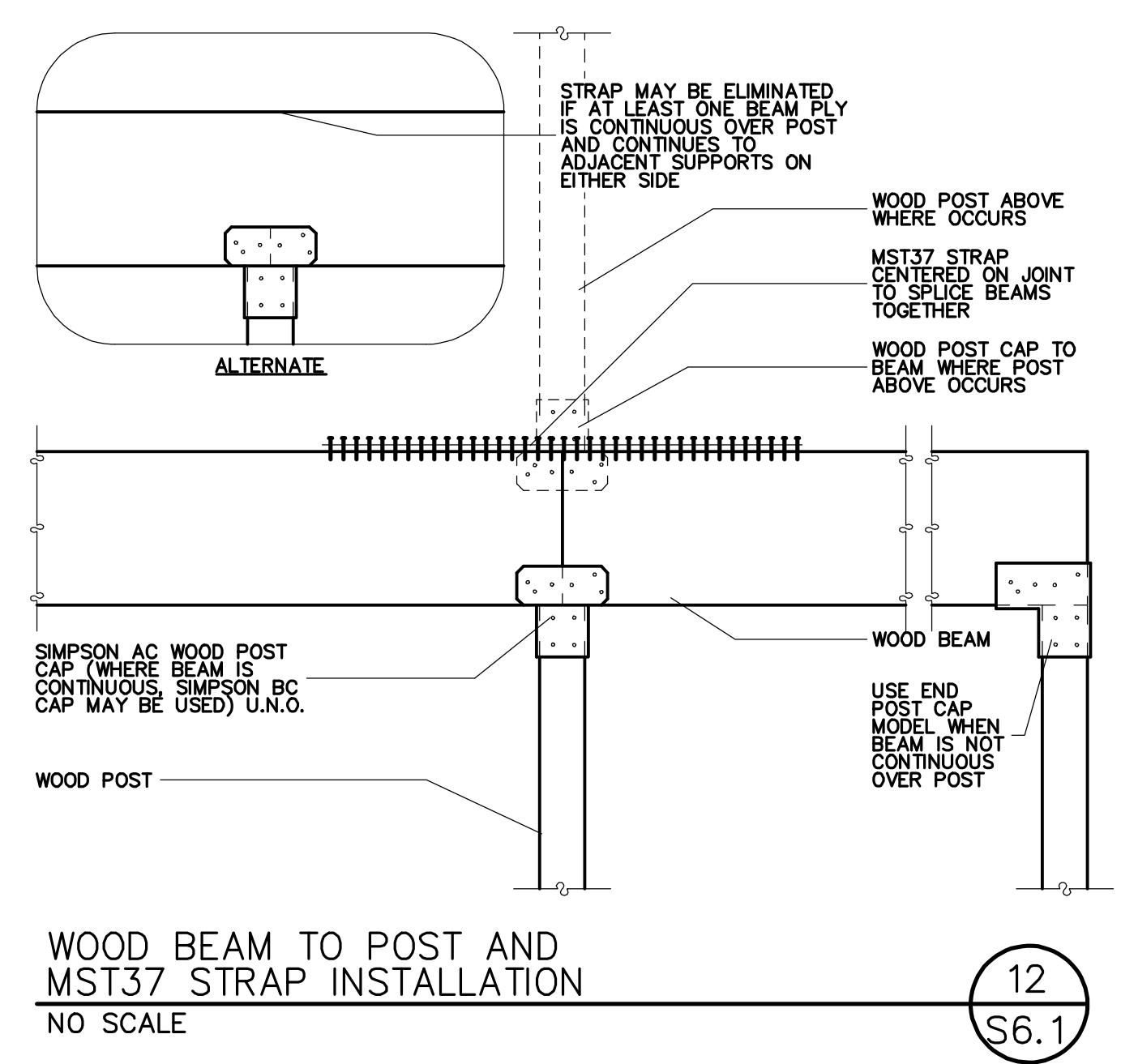
HTS30C/MTS30C STRAP INSTALLATION
NO SCALE



MST37 STRAP INSTALLATION
AND HEADER DETAIL
NO SCALE



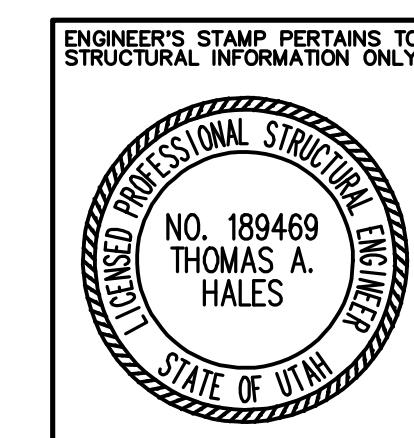
WOOD BEAM POCKET IN WALL
NO SCALE

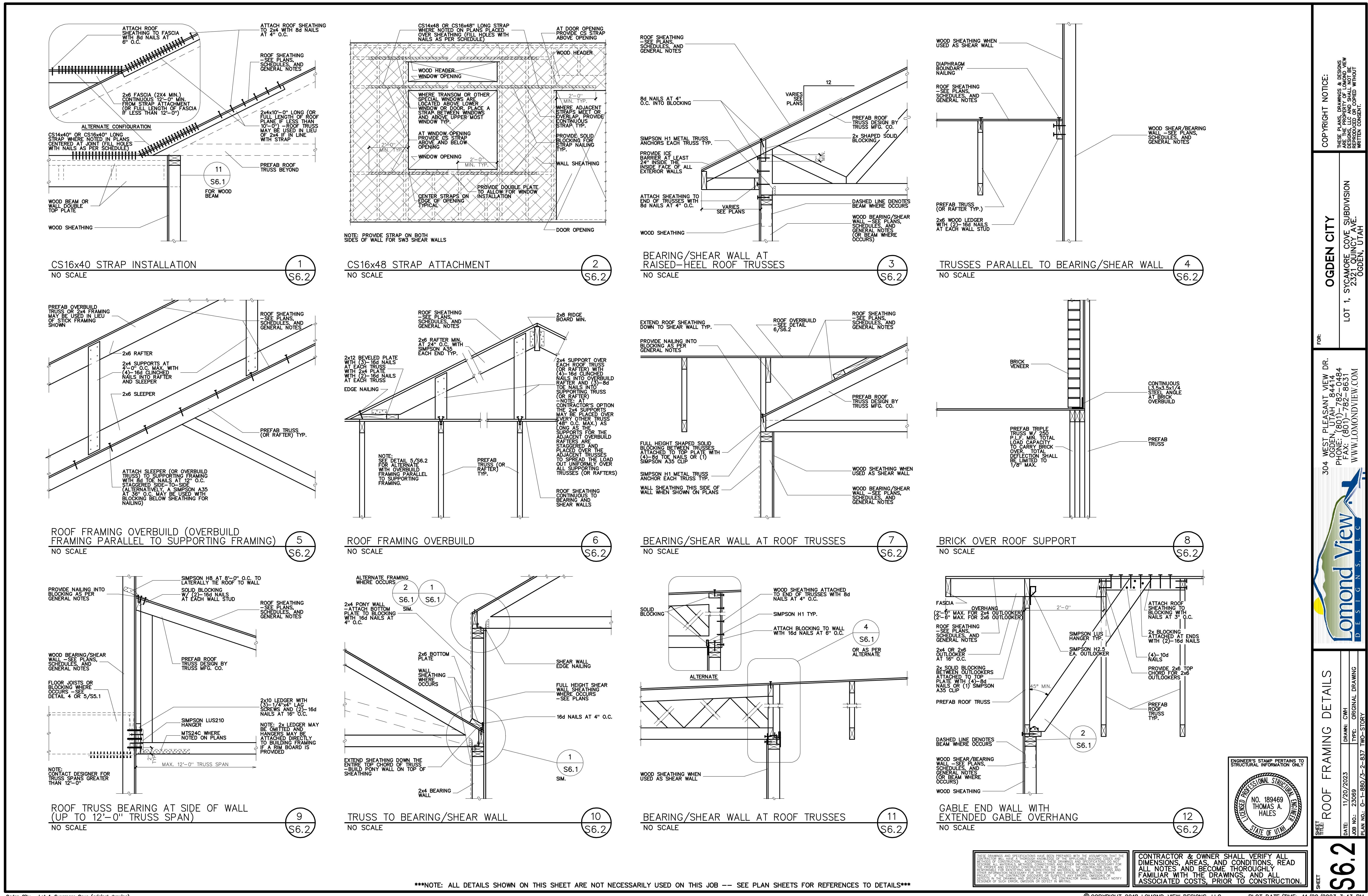


WOOD BEAM TO POST AND
MST37 STRAP INSTALLATION
NO SCALE

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NOTE: ALL DETAILS SHOWN ON THIS SHEET ARE NOT NECESSARILY USED ON THIS JOB -- SEE PLAN SHEETS FOR REFERENCES TO DETAILS

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OGDEN CITY

YCAMORE COVE SUBDIVISION
2321 QUINCY AVE.
OGDEN, UTAH

4 WEST PLEASANT VIEW DR.
OGDEN, UTAH 84414
PHONE: (801)-782-0484
FAX: (801)-782-8631
WWW.LOMONDVIEW.COM

SHEET TITLE: ROOF FRAN

SHEET
S6.2
100/2003 3:17 PM

GENERAL STRUCTURAL NOTES

I. CONCRETE, FOOTINGS, AND FOUNDATIONS:
 A. SOIL BEARING PRESSURE IS ASSUMED TO BE AT LEAST 1500 PSF BY OWNER. IF NOT, THE ENGINEER IF THE SOIL BEARING PRESSURE IS FOUND TO BE LESS THAN 1500 PSF.

B. ALL FOOTINGS SHALL BE ESTABLISHED ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL. ALL EXTERIOR FOOTINGS SHALL HAVE A MINIMUM DEPTH OF 30", OR THE LOCAL FROST DEPTH, WHICHEVER IS GREATER, BELOW FINISHED GRADE.

C. THE NATURAL UNDISTURBED SOIL BELOW ALL FOOTINGS SHALL BE VERIFIED FOR BEARING SUITABILITY. REMOVE ALL SOFT SPOTS AND REPLACE WITH COMPACTED STRUCTURAL FILL.

D. COMPACTED STRUCTURAL FILL: ALL FILL MATERIAL SHALL BE A WELL-GRADED GRANULAR MATERIAL WITH A MAXIMUM SIZE LESS THAN 3/4" AND NOT MORE THAN 10% OF THE MAXIMUM SIZE. SIEVE TESTS SHALL BE CONDUCTED TO 95% PERCENT OF THE MAXIMUM LABORATORY DENSITY AS DETERMINED BY ASTM D 1557. ALL FILLS SHALL BE TESTED. COMPACTED STRUCTURAL FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES IN UNCOMPACTED THICKNESS.

E. ALL CONCRETE SLABS SHALL BE PLACED OVER 4" MINIMUM FREE DRAINING GRANULAR BASE OVER UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.

F. SLABS ON GRADE SHALL HAVE CONTROL OR CONSTRUCTION JOINTS AS PER DETAILS.

G. THE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CONCRETE FOR FOOTINGS AND FOUNDATIONS SHALL BE 2500 psi FOR COMMERCIAL OR NON-RESIDENTIAL STRUCTURES AND 3000 psi FOR RESIDENTIAL STRUCTURES. USE 4000 psi FOR SUSPENDED SLABS AND ALL OTHER CONCRETE.

H. REINFORCEMENT STEEL SHALL BE GRADE 60 (Fy = 60 ksi).

I. SUSPENDED SLABS AND ANY SUPPORTING STEEL BEAMS SHALL BE APPROPRIATELY FULLY SHORED 14 DAYS MINIMUM.

J. AT CONTRACTOR'S OPTION USE EPOXY COATED REBAR IN SUSPENDED SLABS FOR EXTENDED SLAB LIFE.

K. EPOXY BOLTS SHALL BE ALL-THREAD GRADE A307 MIN. SMOOTH SHANK OR EXPANSION BOLTS (WEDGE ANCHORS) SHALL NOT BE USED.

L. REINFORCEMENT STEEL SHALL MEET THE FOLLOWING CONCRETE COVER REQUIREMENTS:

1. CONCRETE EXPOSED TO EARTH ----- 3"

2. FORMED CONCRETE EXPOSED TO EARTH OR WEATHER ----- 1 1/2"

3. FORMED CONCRETE NOT EXPOSED TO EARTH OR WEATHER ----- 3 1/2"

M. REINFORCEMENT STEEL SHALL HAVE THE FOLLOWING MINIMUM LAP SPLICE LENGTHS, UNLESS NOTED OTHERWISE ON DRAWINGS

1. 30 BAR DIA. FOR #5 AND #6 BARS

2. 30 BAR DIA. FOR #5 AND #6 BARS

N. FOR ALL OPENINGS LESS THAN 8'-0" IN CONCRETE FOUNDATION WALLS, PROVIDE A 12" DEEP DECK REINFORCER (WATERPROOF) #4 BARS MINIMUM, UNLESS NOTED OTHERWISE. EXTEND BARS 24" MINIMUM BEYOND EDGE OF THE OPENINGS AND PLACE BARS 2" ABOVE TOP OF OPENING. CONTACT THE ENGINEER FOR REINFORCING OF OPENINGS GREATER THAN 8'-0" IF NOT NOTED ON PLANS.

O. FOUNDATION ANCHOR BOLTS SHALL BE 5/8" DIA. x 12" MIN. FOR COMMERCIAL OR NON-RESIDENTIAL STRUCTURES. FOR RESIDENTIAL STRUCTURES, UNLESS NOTED OTHERWISE, A SPACING OF 16" AND ANCHOR BOLTS SHALL BE 3/4" O.C. MAX. WITH ONE LOCATED AT LEAST WITHIN 4" TO 12" OF EACH END OF SILL PLATE. SEE SHEAR WALL SCHEDULE FOR MORE STRINGENT ANCHOR BOLT REQUIREMENTS.

1. PROVIDE 7" MIN. EMBEDMENT INTO CONCRETE.

2. USE 1/2" DIA. EPOXY COATED TIE BARS FOR PLATE ANCHORAGE.

3. EPOXY BOLTS MAY BE USED IN LIEU OF ANCHOR BOLTS (SEE DETAIL 3/S3.1).

P. ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, OR SOIL SHALL CONSIST OF TREATED WOOD OR HAVE A MOISTURE BARRIER PLACED BETWEEN WHICH MEETS THE CODE REQUIREMENTS. FASTENERS INTO TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER.

H. 2-PLY AND 3-PLY MEMBER BEAMS AND HEADERS SHALL BE NAILED TOGETHER WITH A MINIMUM OF 16D NAILS. 12" O.C. FOR BEAD DEPTHS GREATER THAN 12" LESS, USE 16D ROWS OF 16D NAILS. 12" O.C. FOR BEAD DEPTHS GREATER THAN 12". 4-PLY MEMBER BEAMS SHALL HAVE 2 ROWS OF 12" DIA. THRU-BOLTS WITH WASHERS AT 12" O.C. IN ADDITION TO THE NAILING SPECIFIED ABOVE.

I. BEARING AND EXTERIOR WALLS SHALL BE CAPPED WITH DOUBLE TOP PLATES. END JOINTS OF SPACES DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 48" O.C. AND NAILS WITH 16D NAILS. THE OVERLAPPED LENGTH, OVERLAP THE PLATES AT CORNERS AND AT INTERSECTIONS.

J. EXTERIOR WALLS SHALL HAVE SHEATHING PROVIDED AND NAILED AS PER THE SHEAR WALL SCHEDULE AND GENERAL NOTES TO FUNCTION AS SHEAR OR BRACED WALLS.

K. ALL BEARING SHEAR AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.

L. ATTACH ALL ROOF TRUSSES AND RAFTERS TO ALL BEARING WALLS AND BEAMS WITH SIMPSON HI ANCHORS, UNLESS NOTED OTHERWISE. PROVIDE SOLID BLOCKING BETWEEN TRUSSES.

M. UNLESS NOTED OTHERWISE ON DRAWINGS, NAILING OF ALL STRUCTURAL MEMBERS SHALL COMPLY WITH TABLES R602.3(X) TO R602.3(5).

III. PRE-FABRICATED WOOD TRUSSES:

A. THE TRUSS MANUFACTURER IS RESPONSIBLE FOR THE DESIGN AND FABRICATION OF THE TRUSSES. THE TRUSSES SHALL BE DESIGNED TO MEET THE MINIMUM LOAD AND CODE REQUIREMENTS FOR THE GIVEN LOCALITY OF CONSTRUCTION AND SHALL BE APPROVED BY A LICENSED ENGINEER.

B. IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS, CONTRACTOR SHALL NOTIFY THE ENGINEER, BUILDING, PLANNING, ETC. NOTIFY THE DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.

C. THE DESIGN AND BEARING OF TRUSSES SHALL BE COORDINATED WITH THE DRAWINGS. SEE WALL LEGEND ON SHEET S1.1 AND OTHER NOTES ON DRAWINGS FOR LOCATIONS OF BEARING WALLS. DO NOT DESIGN TRUSSES TO BEAR ON NON-BEARING WALLS.

D. TRUSSES THAT EXTEND OUT OVER EXTERIOR BEARING WALLS TO COVER A PORCH, PATIO, OR DECK SHALL BE DESIGNED TO BEAR ON THE EXTERIOR BEARING WALLS, TO TRANSFER LOAD AWAY FROM THE PORCH, PATIO, OR DECK BEAMS, UNLESS NOTED OTHERWISE.

E. AT ROOF OVERBUILD AREAS PROVIDE OVERBUILD TRUSSES AS PER TRUSS MANUFACTURER OR STICK FRAME.

F. TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 PLF MIN. IN-PLANE TURBINE SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.

G. SHOP DRAWING SUBMITTAL: CONTRACTOR SHALL SUBMIT COMPLETE CALCULATIONS AND SHOP DRAWINGS SHOWING PROPOSED TRUSS LAYOUT AND DESIGN TO BE REVIEWED BY THE ENGINEER BEFORE FABRICATION. THE REVIEW CONCERN ONLY CORRECTIONS OR COMMENTS THAT ARE NECESSARY TO MEET THE LOCAL CODES AND NOTIFICATION OF THE CONTRACTOR FROM COMPLIANCE WITH THE REQUIREMENTS OF THE PLANS OR OF THE TRUSS SPECIFICATIONS. ALSO, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY PROPOSED DEVIATIONS FROM THE DESIGN CONCEPT SHOWN IN THESE PLANS.

IV. STRUCTURAL STEEL:

A. MATERIALS:

1. WIRE FLANGE SECTIONS: ASTM A572 (50 ksi)

2. TUBES: ASTM A500 (46 ksi)

3. PIPE COLUMNS: ASTM A53, TYPES E OR F, GRADE B

4. OTHER SHAPES AND PLATES: ASTM A36

5. HEADED STUD ANCHORS: ASTM A196

6. HEADED STUD ANCHORS (HSAs): ASTM A108

7. BOLTED CONNECTIONS: ASTM A325

8. ANCHOR BOLTS: ASTM A307

B. FABRICATION AND CONSTRUCTION SHALL COMPLY WITH THE LATEST IBC AND AISC CODES.

V. BRICK VENEER:

A. BRICK VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION-RESISTANT METAL TIES. THE TIES SHALL BE NO. 22 U.S. GAGE BY 7/8" CORRODED SHEET METAL TIES. THE TIES SHALL BE PLACED THROUGH THE SUPPORTING WALL AND THE VENEER FROM THE FACE OF THE SUPPORTING WALL. THE TIE SPACING SHALL BE NO. 9 U.S. GAGE MINIMUM AND THE DISTANCE SEPARATING THE VENEER FROM THE FACE OF THE SUPPORTING WALL SHALL NOT EXCEED 1/2". THE TIE SPACING SHALL BE NO. 9 U.S. GAGE MAXIMUM AND THE DISTANCE SEPARATING THE VENEER FROM THE FACE OF THE SUPPORTING WALL SHALL NOT EXCEED 1 1/2". THE TIES SHALL BE PLACED SO THEY INDIVIDUALLY SUPPORT NO MORE THAN 100 SQUARE FEET OF VENEER AND VENEER SHALL NOT BE SPACED MORE THAN 24 INCHES ON CENTER AND VERTICALLY.

B. SEE THE BRICK VENEER STEEL ANGLE LINTEL SCHEDULE FOR BRICK SUPPORT OVER WALL OPENINGS.

C. PROVIDE FOR BRICK OR STONE VENEER INSTALLATIONS A MINIMUM AT THE FOUNDATION CORROSION RESISTANT FLASHING EXTENDING UP A MINIMUM OF 3 COURSES FROM 3/16" THICK TONGUE AND GROOVE OSB PANELS. THE FLASHING SHALL BE ASKED TO THE FOUNDATION CONTRACTOR. THIS FLASHING IS REQUIRED OVER STUCCO WALLS. SCREWS DO NOT EXTEND PAST FOUNDATIONS. FLASHING WHICH DO NOT EXTEND BEYOND OR BELOW THE FOUNDATION WILL NOT BE ACCEPTABLE. (ICE & WATER SHIELD OR SIMILAR MATERIALS).

VI. SPECIAL NOTES:

A. ALL WORK IS TO BE CONSISTENT WITH BEST BUILDING PRACTICES AND CONFORM TO LOCAL BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING CONSTRUCTION.

B. THE OWNER AND ALL CONTRACTORS INVOLVED WITH THE PROJECT SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.

C. ALL OMISSIONS OR CONFLICTS, INCLUDING DIMENSIONS, BETWEEN THE VARIOUS ELEMENTS OF THE DRAWINGS, DETAILS, AND/OR NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. THE CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION IN CASE OF CONFLICT, FOLLOW THE MOST STRINGENT REQUIREMENT SHOWN.

D. COPYRIGHT NOTICE: THESE DRAWINGS, PLANS, DETAILS, SCHEDULES, AND NOTES ARE COPYRIGHTED BY THE DESIGNER AND ENGINEER. ALL RIGHTS RESERVED. THESE DOCUMENTS SHALL NOT BE REPRODUCED, OR COPIED, IN WHOLE OR IN PART.

VII. ADDITIONS AND REMODELS:

A. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE STARTING CONSTRUCTION. DIMENSIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT DIMENSIONS AND CONDITIONS OF EXISTING CONSTRUCTION. ANY OMISSION OR CONFLICT OF INFORMATION BETWEEN THE DRAWINGS AND EXISTING CONDITIONS, OR ANY DETRIMENTAL CONDITIONS, DISCOVERED BY THE CONTRACTOR, SHALL BE REPORTED IN WRITING TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

B. ONLY THE NEW AREAS OF CONSTRUCTION HAVE BEEN CHECKED TO MEET LOCAL STRUCTURAL CODES. THERE HAS BEEN NO ATTEMPT TO CHECK THE EXISTING STRUCTURE FOR INADEQUACIES OR WHETHER THEY MEET LOCAL STRUCTURAL CODES. THE OWNER ASSUMES ALL LIABILITIES OR RISKS ASSOCIATED WITH THE EXISTING STRUCTURE AND ITS INTEGRATION WITH NEW AREAS OF CONSTRUCTION.

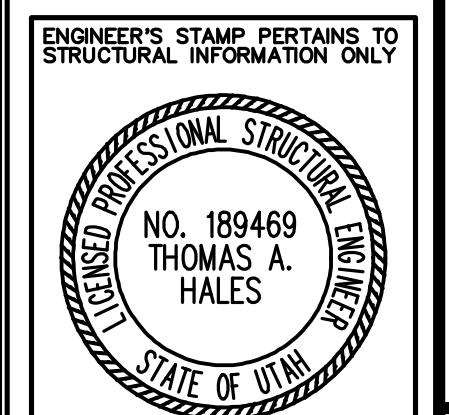
C. TIE ALL NEW FOOTING AND FOUNDATION WALLS TO EXISTING FOOTING AND FOUNDATION WALLS WITH EPOXY DOMED REBAR. SEE DETAIL 3/S3.1

D. CONTRACTOR SHALL FIELD VERIFY THAT EXISTING ROOF FRAMING IS IN GOOD CONDITION BEFORE STARTING CONSTRUCTION. NOTIFY THE ENGINEER IF STRUCTURAL CONCERN EXIST.

WALL LEGEND AND ABBREVIATIONS

SYMBOL / ABBREVIATION	DESCRIPTION	SYMBOL / ABBREVIATION	DESCRIPTION
A.B.	"ANCHOR BOLT"	PREFAB STONE	
ABV.	"ABOVE"	BRICK/NATURAL STONE	
A.P.O.	"AS PER OWNER"	NOTCH IN TOP OF FDTN. WALL	
BLW.	"BELOW"	CONC. FDTN. WALL	
BRG.	"BEARING"	CONC. FOOTING	
C.J.	"CONTRUCTION/CONSTRUCTION JOINT"		
CONC.	"CONCRETE"	S - S STEPPED FOOTING	
CONT.	"CONTINUOUS"	2x6 BEARING WALL	
DET.	"DETAIL"	2x4 BEARING WALL	
EA.	"EACH"	2x6 NON-BEARING WALL	
FDTN.	"FOUNDATION"	2x4 NON-BEARING WALL	
FTG.	"FOOTING"	2x6 NON-BEARING SHEAR WALL	
G.L.B.	"GLU-LAM BEAM"	2x4 NON-BEARING SHEAR WALL	
MAX.	"MAXIMUM"	HEADER/BEAM	
MIN.	"MINIMUM"	6x6 POST	
O.C.	"ON CENTER"	4x4 POST	
OPP.	"OPPOSITE"		
SIM.	"SIMILAR"		
TYP.	"TYPICAL"		
U.N.O.	"UNLESS NOTED OTHERWISE"		

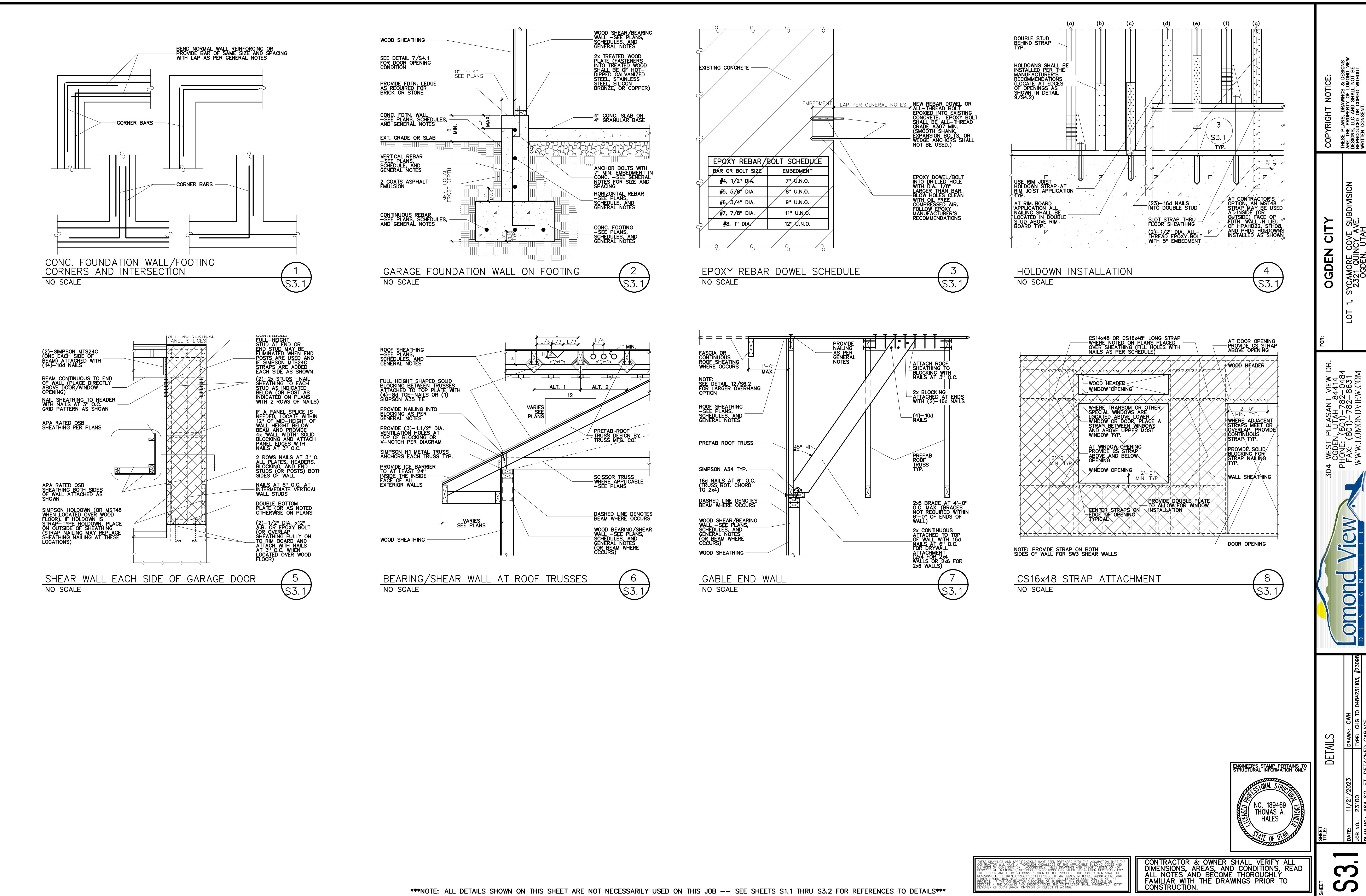
THIS DRAWING AND ITS DESCRIPTIONS HAVE BEEN PREPARED WITH THE ASSUMPTION THAT THE CONTRACTOR HAS READ AND UNDERSTOOD THE APPROPRIATE LOCAL BUILDING CODES AND OTHER INFORMATION NECESSARY FOR THE PROPER DESIGN AND CONSTRUCTION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND SUPPLYING THE MATERIALS, METHODS, CONNECTIONS AND OTHER INFORMATION NECESSARY FOR THE PROPER DESIGN AND CONSTRUCTION OF THE PROJECT. IF THE CONTRACTOR SUSPECTS ANY ERRORS, OMISSIONS OR CONFLICTS IN THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGNER OR SUCH OWNER, ENGINEER OR DETAILER IN WRITING.



CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS, READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

SHEET INDEX

SHEET	DESCRIPTION
S1.1	INDEX, GENERAL NOTES, SCHEDULES
S2.1	PLANS AND ELEVATIONS
S3.1	DETAILS
S4.1	WALL LEGEND AND ABBREVIATIONS
S5.1	SHEET INDEX



2321 Quincy Ave Cost Breakdown

LINE	DIV.		COST
1	1	Building Permits	5,000.00
2	1	Bond	
3	1	Builders Risk Insurance	
4	2	Engineering (Property Survey)	
5	2	Demolition	
6	2	SWPPP	
7	2	Temporary Utilities	
8	2	Grading & Excavation	
9	2	Utility Connections	
10	2	Gravel, Sand & Road Base	
11	2	Other Site Work (specify)	
12	2	Footings Concrete	
13	2	Foundations Concrete	
14	2	Steel	
15	2	Termite Treatment	
16	3	Flatwork Concrete - Interior	
17	3	Flatwork Concrete - Exterior	
18	4	Framing Materials	
19	4	Framing Labor	
20	5	Windows & Glazing	
21	6	Exterior Doors & Hardware	
22	6	Interior Doors & Hardware	
23	6	Garage Door (w/ opener)	
24	7	Roofing Materials	
25	7	Roofing Labor	
26	8	Rain Gutters & Flashing	
27	8	Siding	
28	9	Stucco / Masonary	
29	9	Electrical	
30	10	Electrical / Light Fixtures	1,500.00
31	10	Plumbing	
32	11	Plumbing Fixtures	
33	12	HVAC	
34	13	Insulation	
35	14	Drywall	
36	15	Painting	
37	15	Vinyl Flooring	
38	15	Carpet	
39	16	Ceramic Tile / Cultured Marble	
40	17	Counter Tops	
41	18	Cabinets & Vanities	
42	19	Mirrors & Glasswork	
43	20	Appliances	1,500.00
44	21	Finish Material	
45	21	Finish Labor	
46	22	Final Grading	
47	23	Fencing & Landscaping	
48	24	Plaster Foundation	
49	25	Site Clean Up	
50	25	Interior Final Cleaning	
51	26	Miscellaneous	
		Subtotal	
		Builder's Overhead & Profit	
		Total	

Allowances & Specifications

Effective Date: February 2024

Project Address: 2343 Quincy Ave. Ogden, UT

These specifications are exclusively for the above-referenced proposed residences and in conjunction with the plans are contractual construction documents. All items specified or not specified herein shall meet or exceed the International Residential Code (IRC). OGDEN CITY shall reserve the right to change these specifications due to product availability. Contractor is responsible for pulling and paying for all permits related to construction of home including: Building Permits, SWPPP permits, Utility Permits, etc.

General Description of Improvements for each residence:

Average Square footage of living area: 2264

Square footage of garage: 484

Note: All square footage measurements are approximate and to be verified by Contractor

Permits & Fees

Please use the allowance of \$5,000 for permits and fees. This estimated amount will include impact fees, SWPPP, Building permit fees for the house. Contractor will only be reimbursed for actual permit fees. Contractor will not be able to draw remaining balance for other purposes.

If fees are greater than \$5,000, OGDEN CITY will accept change order compensating Contractor for actual permit fees.

Site Work

Utilities

Water	Ogden City
Sewer	Central Weber
Electric	Rocky Mountain
Gas	Dominion

New sewer and water lateral stubs have already been installed with Sycamore Cove Development approximately to the east property line of the lot. See site plan for approximate location. Contractor responsible for tying into existing utility laterals. Contractor is responsible for repairing and replacing any cuts or damage made in city streets curbs, sidewalk etc. that are damaged due to the utility connection or damaged by contractor or subcontractor during the construction period. Contractor responsible for installation of new city sidewalk per site plan. Contractor is also responsible for coordinating and installation of gas and electric utility connections.

Contractor will install new sidewalk, drive approach and driveway and other flatwork (per site plan and landscaping exhibits).

Contractor is responsible for repairing and replacing any cuts made in city streets curbs, sidewalk etc. that are damaged during home construction.

Setback and Grading

- Setbacks per site plan.
- Grade as required for proper drainage (per site plan).
- Landscape –(see landscaping plan)
Yards to be completely landscaped, including front and side park strips.
- Fully automated sprinkler systems, including drip system.
- Cement curbing included in front yard flowerbeds and under wrought iron fencing (see landscaping plan)

Basement

- ADU ready unfinished basement – Install all footings, foundations, window bucks, door bucks, and bearing walls per plan. Provide plumbing stubs for future kitchen and bathroom. Provide basic electrical required by code with keyless lighting and adequate distribution panel for future basement expansion. All other interior basement improvements to be done by others.

Fencing

- Install new 3' wrought iron (or comparable) fence per site plan. Includes two wrought Iron - 3'H x 3'W pedestrian gate per site plan.

Framing

Exterior and Interior Walls

- Constructed per plan
- Lap siding to be 8" LP Smart Side over 15# felt or comparable material.
- Exterior trim work to be "LP -Smart Siding" or comparable.
- Siding and trim paint colors to be selected and approved by OGDEN CITY CED prior to construction.

Rafter and Floor Joists

- Constructed per plan.

Porches

- Front Porch: Concrete cap per plan with concrete sealer – Cap to extend 3 inches past foundation. No Wrought Iron Railing on front porch.



Thick Railing – 1.5"- 2.5" Rails

- Back Porch: Treated-Wood framed platform and stair stringers completely covered in Trex decking materials or comparable product. Metal railing if required by code.

Cornice

- Constructed per plan

Windows

- Vinyl-framed, double pane with Low-E glass, sized per plan.
- Frame Color – Almond –(to be verified by Ogden city prior to ordering windows)
- ½ screens throughout (except for fixed glass windows).
- Garage will not have any windows.

Blinds

- Located in all windows (except bathroom windows).

Type:	Levelor (or Comparable)
Style:	2" Faux Wood (PVC)
Color:	White

Exterior Doors

- Front entrance door -- 3'0"x 6'8" Fiberglass – Therma Tru entry door- model #CCA260-SDL with 4 dentil block shelf. Verify with Ogden City at time of ordering.
- Back entry door per plan -- 3'0"x 6'8" Fiberglass-two panel per spec sheet with half-light and blinds inside of glass.
- Garage man door -- 3'0"x 6'8" Steel two panel per spec sheet.
- Garage Door – 16'0"x 8'0" aluminum door per plan with auto opener.
- All exterior doors to come pre-hung with factory weather strip and threshold.

Insulation

- Exterior walls – R-19
- R-49 blown in flat ceilings areas where accessible.
- Polycel foam all windows, corners, plumbing or electrical penetrations. (per 2006 IRC)

Roofing

- Shingles --- Architectural/Dimensional shingle.
- Warranty --- 30 year Manufacturers Warranty.
- Color --- Weathered Wood

Soffit & Fascia

- Aluminum type materials. Use ventilated soffit at all eaves per code. Almond color- verify with Ogden City at time of ordering.
- Install aluminum gutters and downspouts on all drainage eaves.

Energy Requirements

Builder to follow prescriptive requirements from 2006 IEC, described in table below (5 and 4 Marine):

Table 402.1.1
Insulation and Fenestration Requirements by Component^a



CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION ^{b,e} SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
1	1.20	0.75	0.30	30	13	3 / 4	13	0	0	0
2	0.65 ^j	0.75	0.30	30	13	4 / 6	13	0	0	0
3	0.50 ^j	0.65	0.30	30	13	5 / 8	19	5 / 13 ^f	0	5 / 13
4 except Marine	0.35	0.60	NR	38	13	5 / 10	19	10 / 13	10, 2ft	10 / 13
5 and Marine 4	0.35	0.60	NR	38	20 or 13+5 ^h	13 / 17	30 ^g	10 / 13	10, 2 ft	10 / 13
6	0.35	0.60	NR	49	19 or 13+5 ^h	15 / 19	30 ^g	15 / 19	10, 4 ft	10 / 13
7 and 8	0.35	0.60	NR	49	21	19 / 21	38 ^g	15 / 19	10, 4 ft	10 / 13

^a R-values are minimums, U-factors and SHGC are maximums, R-19 batts compressed into a nominal 2 x 6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.

^b The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.

^c "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulated sheathing on the interior or exterior of the home. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.

^d R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 3 for heated slabs.

^e There are no SHGC requirements in the Marine Zone.

^f Basement wall insulation is not required in warm-humid locations as defined by Figure 301.1 and Table 301.1.

^g Or insulation sufficient to fill the framing cavity, R-19 minimum.

^h "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.

ⁱ The second R-value applies when more than half the insulation is on the interior of the mass wall.

^j For impact rated fenestration complying with Section R301.2.1.2 of the *IRC* or Section 1608.1.2 of the *IBC*, maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

Millwork

Cabinets - Please provide a bid for white poplar cabinets with a Shaker style door (see photo). Cabinets will have the following specs:



Kitchen	36" Base	36" uppers w/ crown molding.
Master Bath	36" Base	30" uppers (if req'd per plan)
Secondary Bath	48" Base	30" uppers (if req'd per plan)
Utility / Linen	per plan only	
All Cabinets	Pre-finished w/ picture frame doors	White
Hardware	Knobs, pulls, and hinges	Matt Black – Style selected by Ogden City prior to install

Interior Doors and Trim

Interior Doors	6'8" Hollow core 5 panel. (Riverside) Sized per plan.
Door Casing	3 1/4" MDF Square edge 5 1/4" Header
Window Trim	3 1/4" MDF casing with window sill in Living, Dining, and Kitchen All other windows are MDF sill only, no casing.
Base Trim	4 1/4" MDF Square edge
Stair Wall	Per Plan
Shelving	Particle Board
Closet Rods	Alloy
Wainscott	Dining Room



Door Style



Casing Style



Wainscot Style

HVAC

Equipment

- Energy Star rated equipment (HVAC)
- 90% efficient furnace or better, located in crawlspace.
- AC
- Digital Thermostat
- Sizing, location, installation of unit, furnace, and registers as per load calculation and engineered HVAC design criteria – Must be able to provide required Manual J & D to pull building permit.
All Manual J & D design fees required for permit must be included in bid.

Plumbing

Piping

- Waste and vent piping to be schedule 40 PVC.
- Includes (2) standard freeze-less hose bibs.
- Sewer line to be schedule 30 J.M. sewer pipe.

- Water Heater to be gas (1) 40 gallon.
- Washer connections to be in catch-a-drip box.
- Interior piping to be Rehau Everloc system, or equal.
- Washer Fiberglass Pan w/ Trap & Drain.
- Water line for refrigerator ice maker.

Fixtures- Color - Matt Black

Kitchen Sink	8" deep stainless steel, double basin.
Kitchen Faucet	Moen – Indi Single Handle Pull Down Sprayer Kitchen Faucet – Matt Black Mo. 87090BL
Disposal	Insinkerator Badger I disposal 1/3 HP (or comparable)
Bathroom Lavatory Faucets	Moen Gibson 8 In Widespread Double Handle High Arc Faucet - Matt Black, Mo. T6142BL
Master Bath Shower	Moen Gibson – Matt Black – Mo. T2902EPBL
Toilets	American Standard – white – Elongated. (or comparable)
Secondary Bath Tubs	White porcelain on steel tub, or Acrylic
Secondary Bath Tub/Shower	Moen Gibson Tub / Shower Faucet combo Matt Black Mo. T2903EPBL
Bathroom Sinks	Oval, - White

Appliances

Range	30"Free standing gas Range – Stainless – LRG3061ST LG Gas Range w/5 Burners & Gridle
Microwave	Built in Over range – Stainless – LG LMV1683ST
Dishwasher	Built in – Stainless – LDF5545ST LG Built In Dishwasher w/ stainless tub

Electrical

Wiring

- House and Garage: Wire per plan and National Electrical Code, copper "Romex" type and aluminum feeders.

Fixtures -

- Switch Type --- Toggle
- Switch/ Outlet Color --- White
- Ceiling Fans --- Master bedroom- (1) w/ and light kit
- Light Fixtures (\$1,500 Allowance) --- fixtures selected by Ogden City prior to installation.
- GFI outlets --- Installed per plan or per National Electrical Code.
- Garage Door Opener --- One Opener with (2) remotes

- Additional ceiling Fans --- Includes pre-wire and blocking for future fans in secondary bedrooms and living room.

Telephone and TV cabling

Telephone	(2) Cat-5 (includes pre-wire and trim) Master bedroom and kitchen
T.V.	(4) RG-6 (includes pre-wire and trim) Family room and bedrooms

Flooring, Countertops, & Shower Walls

Countertops & Backsplash

Kitchen Tops	Quartz – Chipped Ice
Vanity Tops	Quartz – Chipped Ice
Utility Tops	Quartz – Chipped Ice
Kitchen Backsplash	3X6 White Subway Tile w/ Grey Grout

Shower / Tub Walls

- White Cultured marble to be used at master and secondary tub/shower walls.

Flooring

- Oceanside Laminate Wood Flooring – see interior color selection and flooring exhibits for color and location.
- Shaw Carpet – Well Timed – see interior color selection and flooring exhibits for color and location.
- Carpet Pad 3/8" rebond pad. Installed in all carpeted locations including stairs.
- Tile – Soho 12" x 24" – see interior color selection and flooring exhibits for color and location.

Painting & Drywall

Exterior

- All trim to be caulked as necessary and painted to final finish.
- Two tone paint. See interior color selection exhibit for color.

Interior

- All walls to be ½" gypsum board-taped, floated and final floated – Smooth Finish. Green board or equal to be used in all tub/shower surrounds. All ceilings to be 1/2" sheetrock, 5/8" where required by code. Ceilings to be light textured. Eggshell latex wall paint in all finished sheetrock areas. Color to be selected and approved by OGDEN CITY prior to painting.
- Trim will be caulked & sanded. 2 coats interior enamel paint. Two tone paint scheme throughout. Colors to be selected and approved by OGDEN CITY prior to painting.

Mirrors and Shower Doors

Mirrors

- Bathroom mirrors to be 1/4" plate glass, sized per plan.

Shower Doors

- Master bath shower doors to be clear tempered glass, frame color to be Satin.

Hardware

Hardware

Type:	Schlange
Style:	Georgian
Color:	Matt Black
Hinges:	26 D – Matt Black
Front Door Handleset:	Schlange Northbrook – Matt Black
Bathroom accessories:	One towel bar, towel ring, and paper holder per bath to match plumbing finish. Craftsman Style – Kingston Brass Monarch Line – Matt Black

Concrete

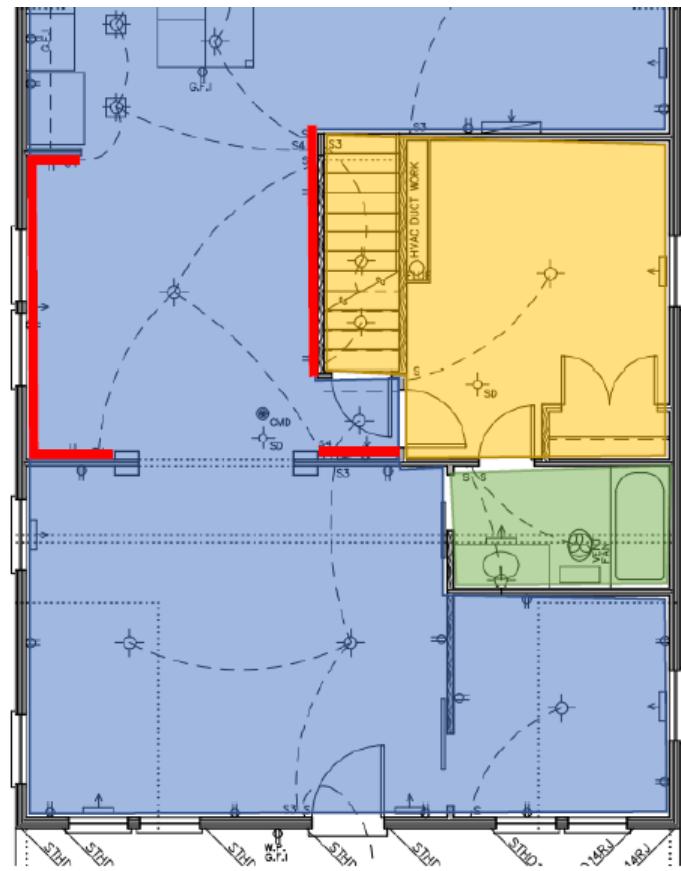
- Provide all concrete per code to install driveway, pads, caps, stairs and sidewalks per site plan.

Garage

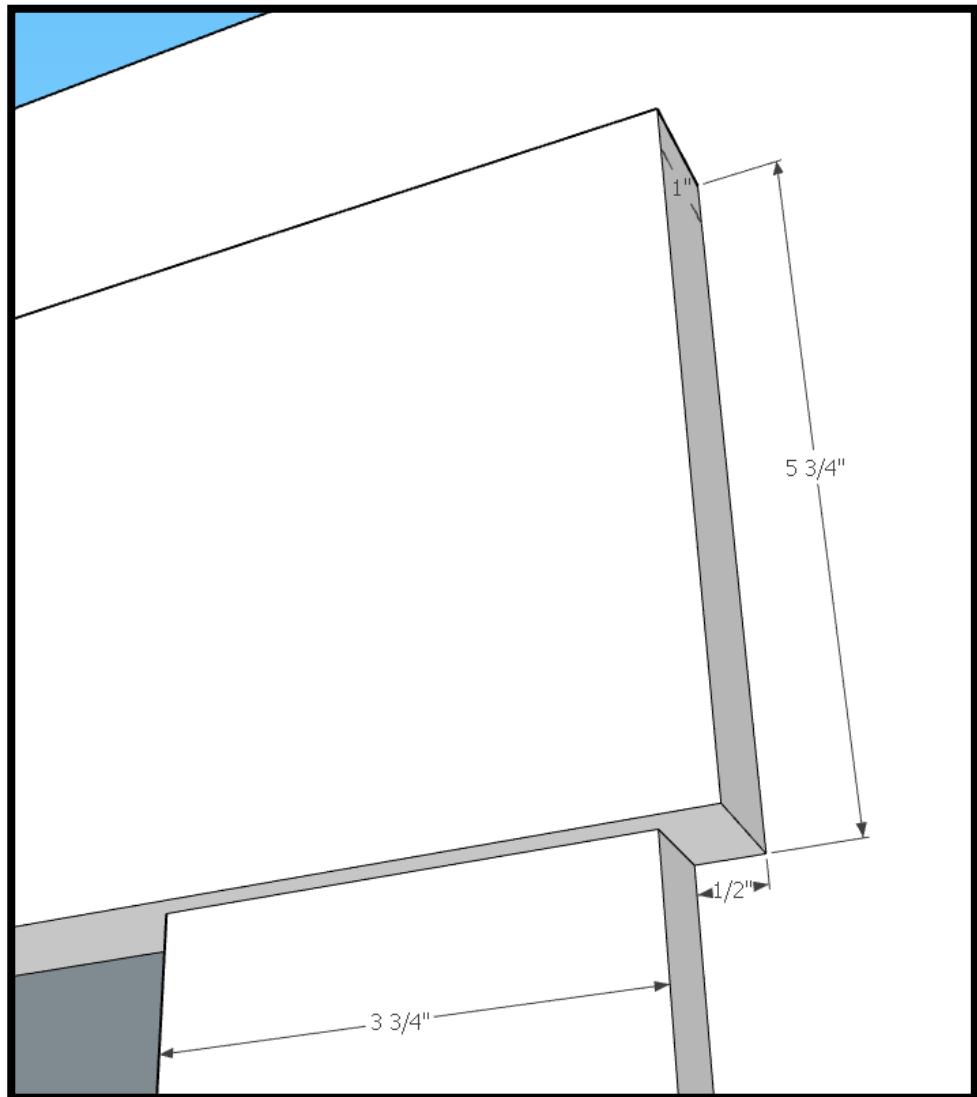
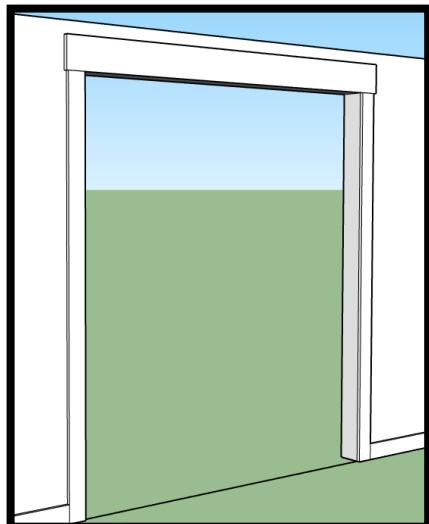
- To be built per plan, with in kind materials as home.
- Gable end roof style with architectural shingles. Color to be Weatherwood to match home.
- Exterior colors to match home and approved by Ogden City.
- Electrical to include GFI circuits, lighting, and overhead garage door, per plan.
- Fire Rated Walls – Build per plan
- No Drywall or insulation done on garage interior.

2343 Quincy
Wainscot Detail

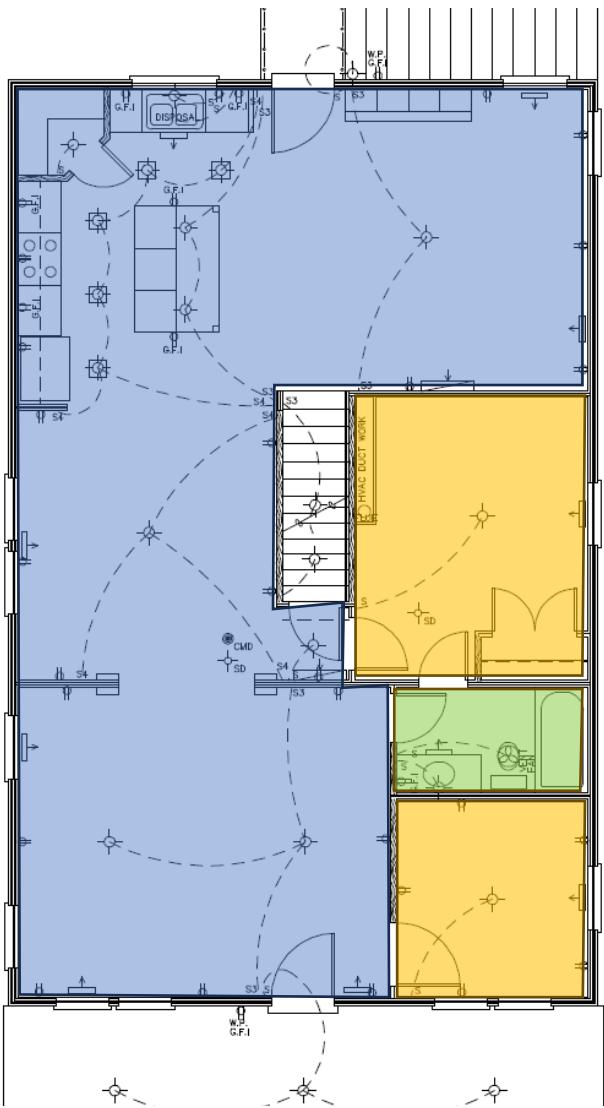
Wainscot



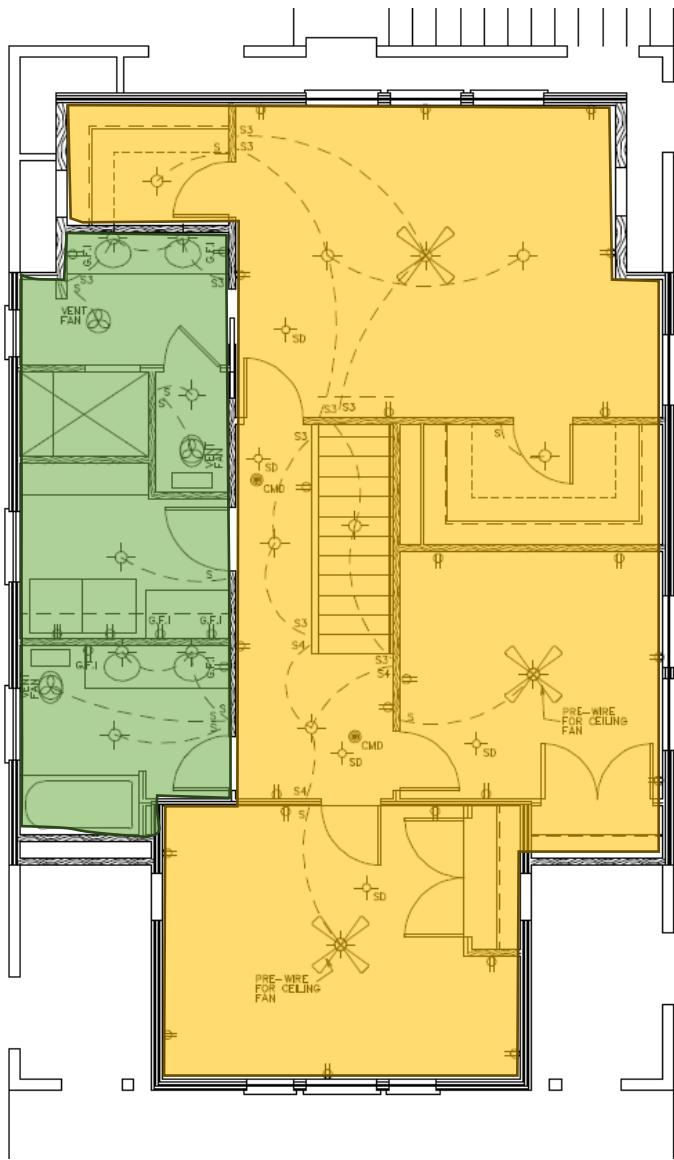
2363 Jefferson – Trim Detail



2343 Quincy Trim Flooring Exhibit



LVP Flooring



Tile



Carpet

2343 Quincy Interior Color Selects

February 2024



Paint – Sherwin-Williams SW 7029
Base eggshell walls.



Paint -Trim – Satin Finish trim,



Chipped Ice Quartz – Countertops



Carpet-Shaw - Well Timed
-Canoe



Tile – Soho – Madison 12x24



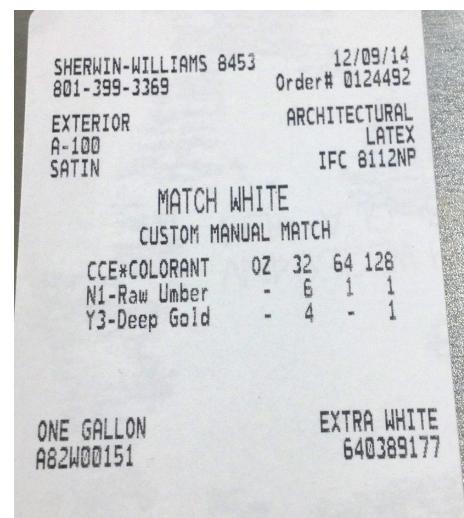
Oceanside Flooring
COLOR: San Becinto Range
Model VSPC7SB
W 7" X 5'. Thickness 5.5mm
TYPE: SPC

2343 Quincy Exterior Color Selects

February 2024



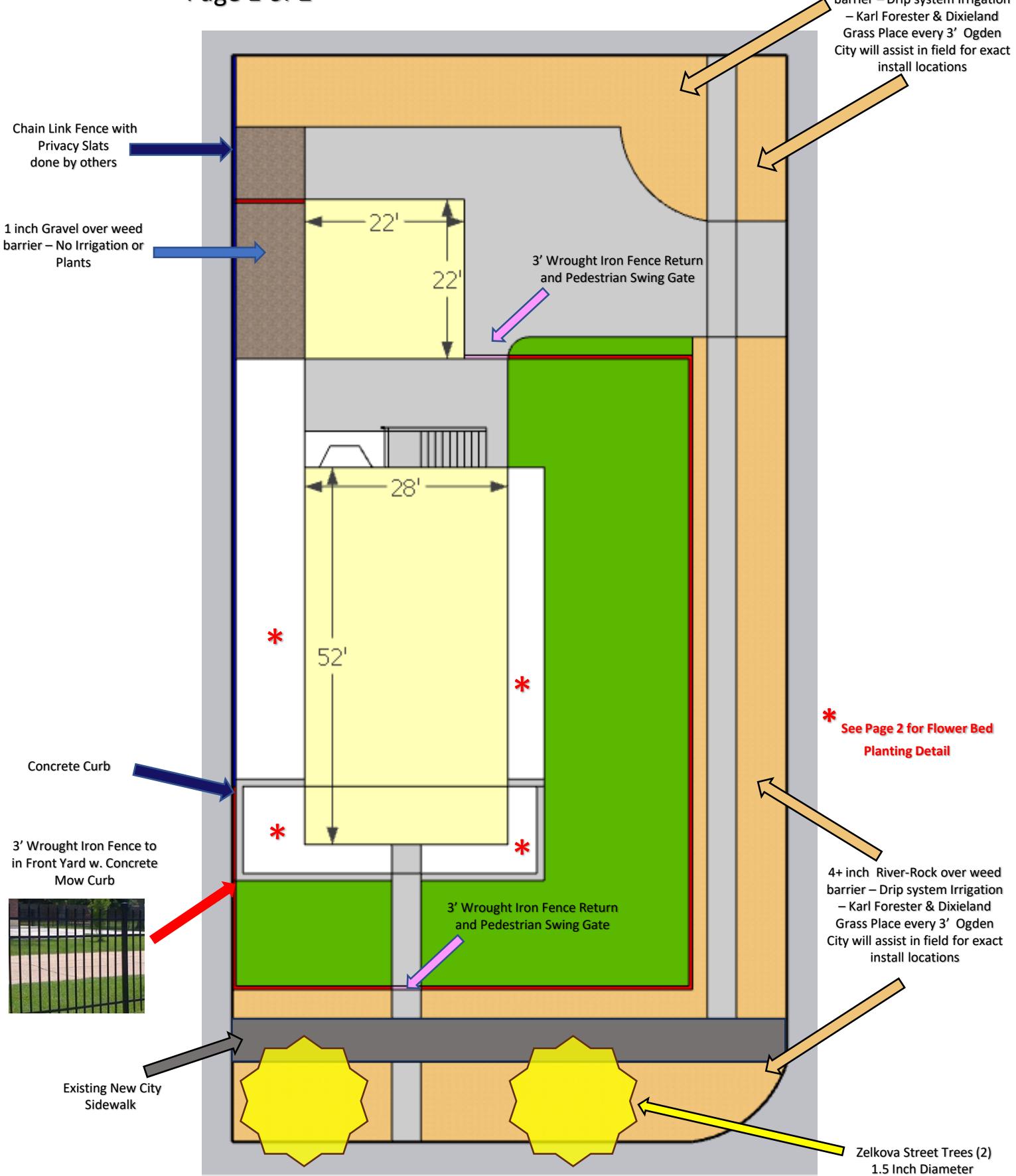
Sherwin Williams— Gauntlet
Gray 1701 – Exterior Lap Siding



Exterior Trim – Color Match – Ogden White

2343 Quincy Landscaping Plan

Page 1 of 2



2343 Quincy Landscaping Plan

Page 2 of 2



Coloratus Euyanamus



Gold Flame Spirea



3 -Day Lilly's



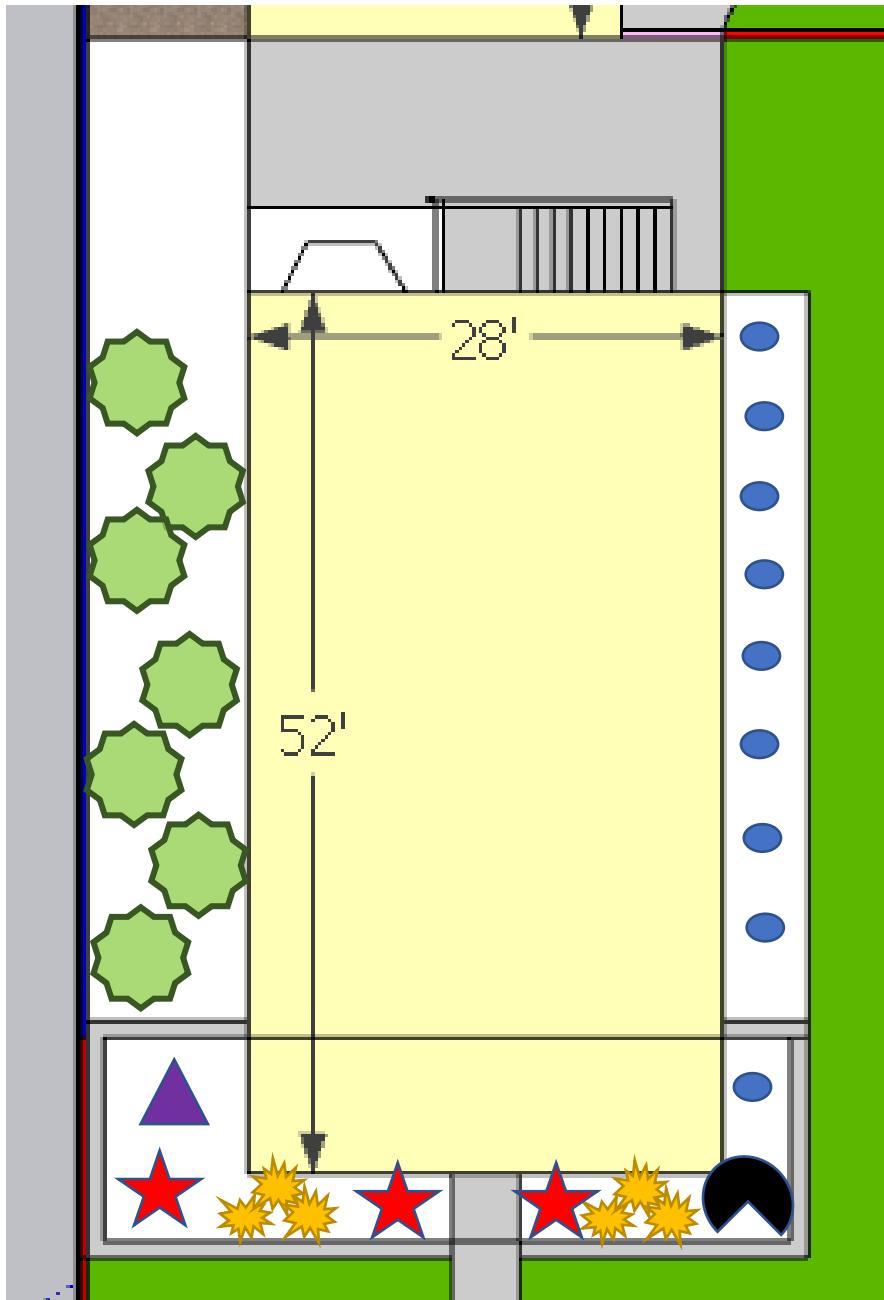
Weeping Cherry



Columnar Spruce



Karl Forester Grass



~ Weed Barrier and 4" minimum Dark Mulch in all Flower bed surrounding House (Shown in White)

Drip Irrigation on all flowerbeds on side of House. Spray Irrigation can be used on all turf and front yard flower beds. Turf to be layed as sod – Waterwise blend suitable for active residential use

2343 Quincy Site Plan

N →

~ DRIVE APPROACH & CITY SIDEWALK TO BE INSTALLED PER OGDEN CITY STANDARD

~ ALL WORK TO COMPLY WITH OGDEN CITY STANDARDS

~ ALL DEFECTIVE CURB/GUTTER & SIDEWALK, ALONG PROPERTY, WILL BE REPLACED PER OGDEN CITY STANDARD

~ ALL UTILITY TRENCHING DONE IN PUBLIC STREET TO BE COVERED BY A SINGLE ASPHALT PATCH THAT EXTENDS THE FULL WIDTH OF THE ROAD PER OGDEN CITY STANDARD

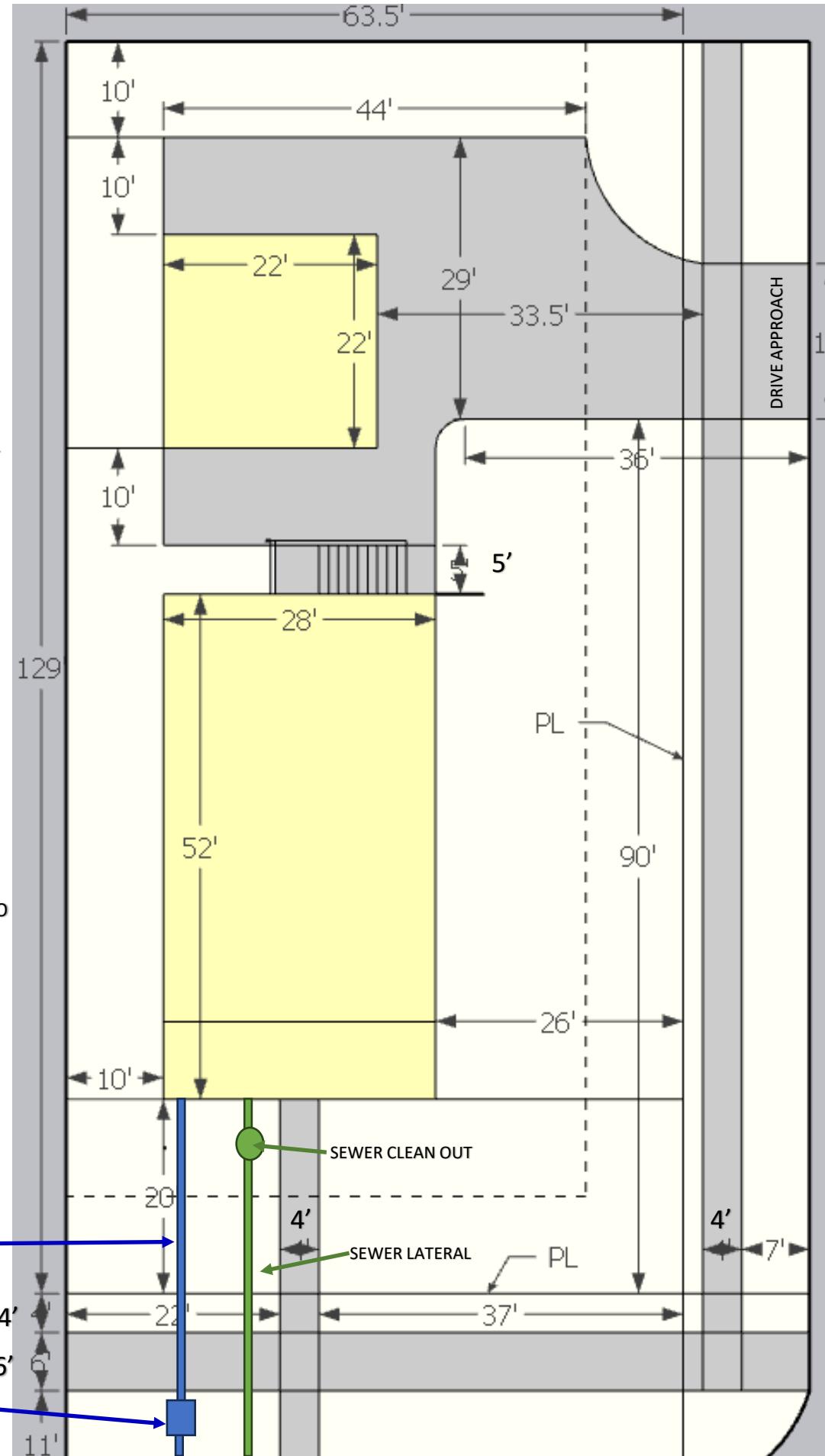
~ SEWER & WATER LATERALS MUST MAINTAIN A MINIMUM 10' SEPARATION

WATER UTILITY NOTES:

1. $\frac{3}{4}$ " WATER METER AND LATERAL FROM METER
2. AWWAC 901CTS POLY TUBING MATERIAL
3. TRACER WIRE ALONG LATERAL TO BE INCLUDED
4. WATER UTILITY WORK TO COMPLY WITH OGDEN CITY STANDARDS

SEWER UTILITY NOTES:

1. 4" SEWER LATERAL
2. PVC SDR-35, GREEN – MATERIAL
3. MINIMUM 2% SLOPE
4. SEE OGDEN CITY STANDARDS DETAIL



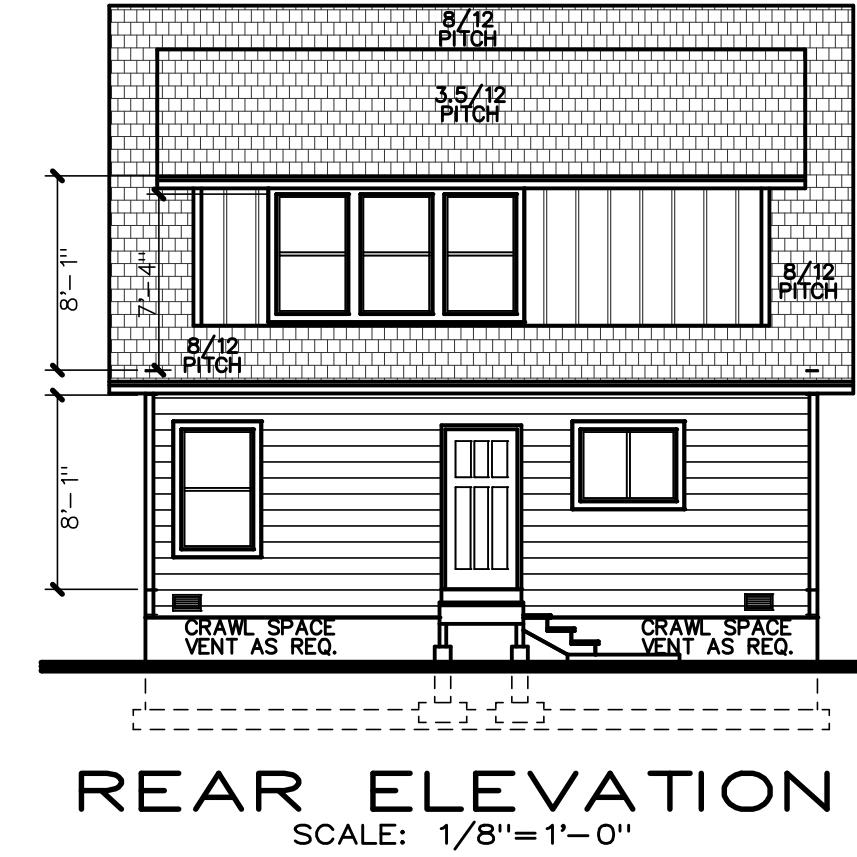


LEFT ELEVATION

SCALE: 1/8"=1'

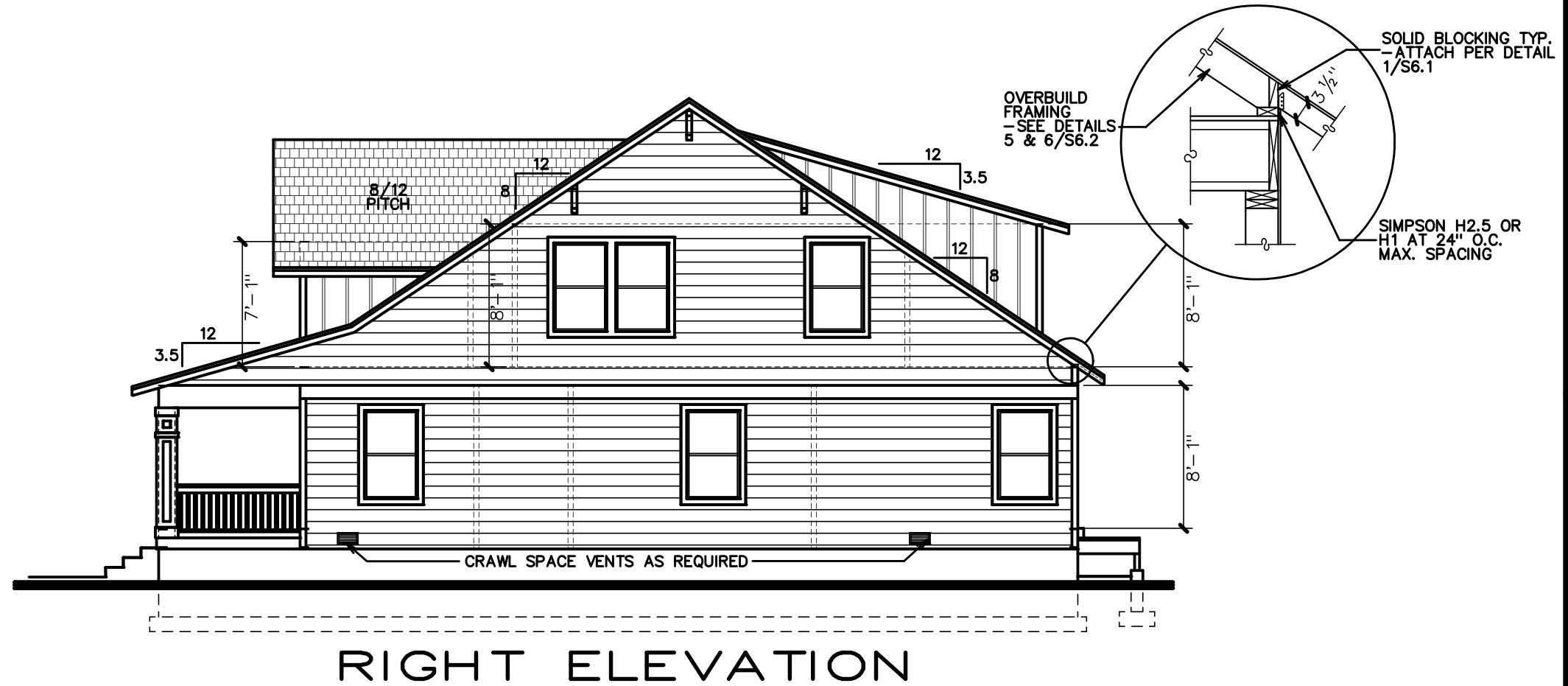
○"○"

1



REAR ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

SCALE 1/8"=1'-0"

REMOVE FRONT PORCH RAILING



FRONT ELEVATION

SCALE: 1/4"=1'-0"

DESIGN LOADS	
ROOF:	SNOW - 30 psf DEAD - 17 psf
FLOOR:	LIVE - 40 psf DEAD - 12 psf
DECK:	LIVE - 60 psf DEAD - 12 psf
GROUND SNOW LOAD - 43 psf	
ULTIMATE DESIGN WIND SPEED, V_{ULT} - 115 mph	
NOMINAL DESIGN WIND SPEED, V_{ASD} - 90 mph	
SEISMIC DESIGN CATEGORY 'D'	
SITE CLASS 'D'	
SOIL BEARING PRESSURE - 1500 psf	

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CITY: OGDEN STATE: UTAH

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DATE: 12/18/2019

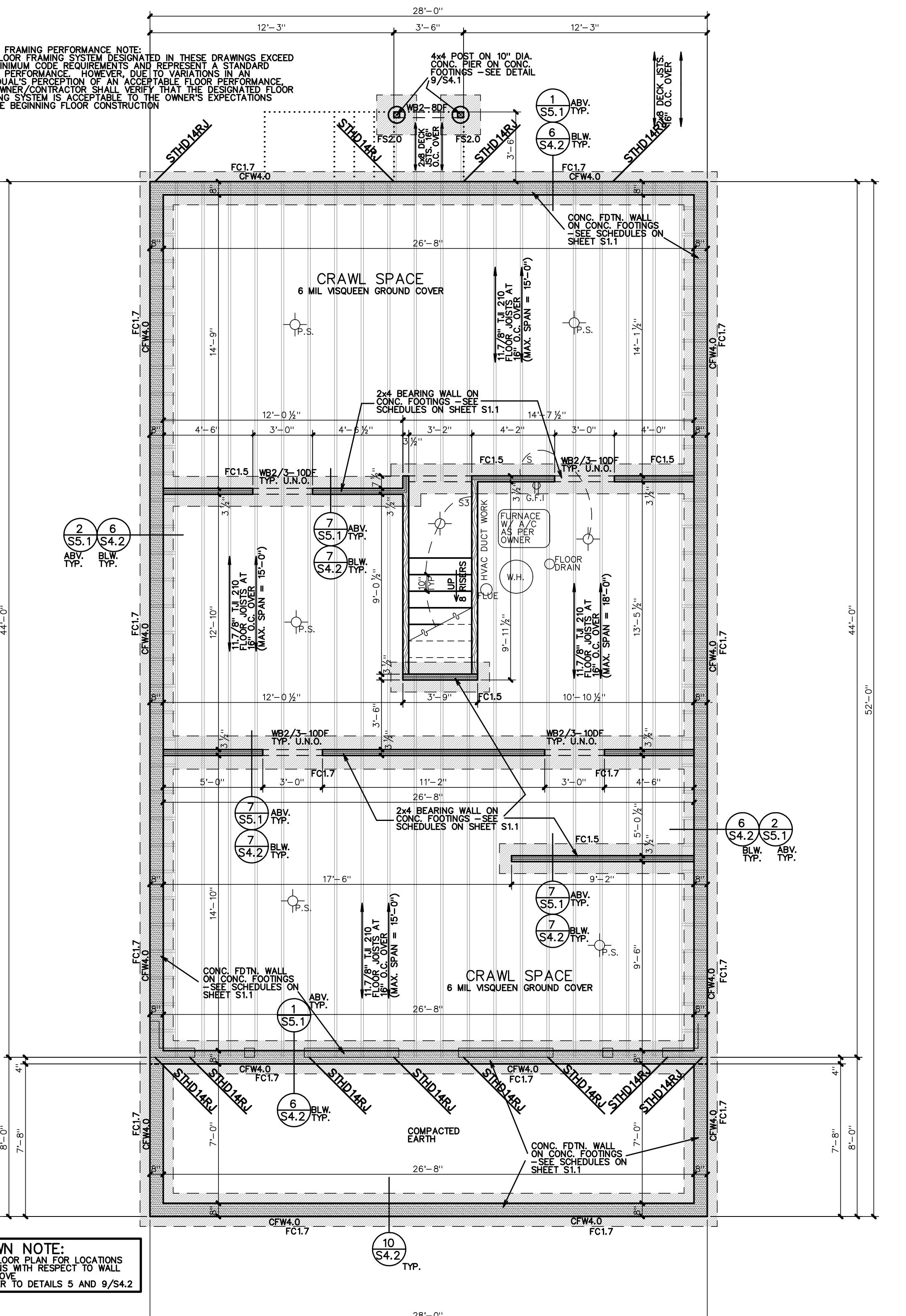
THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED WITH THE ASSUMPTION THAT THE CONTRACTOR WILL HAVE A THOROUGH KNOWLEDGE OF THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION. ACCORDINGLY, THESE DRAWINGS AND SPECIFICATIONS DO NOT DESCRIBE ALL MATERIALS, METHODS, CONNECTIONS AND OTHER INFORMATION NECESSARY FOR THE PROPER AND EFFICIENT CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND SUPPLYING THE MATERIALS, METHODS, CONNECTIONS AND OTHER INFORMATION NECESSARY FOR THE PROPER AND EFFICIENT CONSTRUCTION OF THE PROJECT. IF THE CONTRACTOR DISCOVERS OR SUSPECTS ANY ERRORS, OMISSIONS OR DEFECTS IN THE DRAWING AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY DESIGNER OF SUCH ERROR, OMISSION OR DEFECT IN WRITING.

CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS, READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

NOTES TO PLAN:

- SEE GENERAL STRUCTURAL NOTES, SCHEDULES, AND DETAILS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS. THIS PLAN IS TO BE WORKED ALONG WITH THESE OTHER DRAWINGS SHEETS THREE DOWN AND CONSTRUCTION SHEETS THROUGH REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- FOOTINGS: SEE THE GENERAL STRUCTURAL NOTES. THE CONCRETE FOOTING SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. FOOTINGS SHALL BE CONCRETE, UNLESS NOTED OTHERWISE. CONCRETE FOOTINGS SHALL BE A FC1.5 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING EXTERIOR WOOD BEARING WALLS SHALL BE A FC1.5 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING A COV. PATIO/DECK POST SHALL BE A FS3.0 FOOTING UNLESS NOTED OTHERWISE. SEE DETAILS 3/S4.1 AND 4/S4.1 FOR FOOTING STEPS, CORNERS, AND INTERSECTIONS.
- FOUNDATION WALLS: SEE THE GENERAL STRUCTURAL NOTES. THE CONCRETE FOUNDATION WALL SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. REINFORCING SHALL BE BASED ON THE FOUNDATION WALL SCHEDULE. WALLS ARE DESIGNATED AS CONCRETE, UNLESS NOTED OTHERWISE. FOUNDATION WALLS WITH HEIGHTS (HEIGHTS BETWEEN LOW AND HIGH GRADE) GREATER THAN THAT SHOWN IN THE SCHEDULE. SEE DETAIL 4/S4.1 FOR FOUNDATION WALL CORNERS AND INTERSECTIONS. FOUNDATION WALLS SHALL NOT BE BURIED UNDER THE FLOOR. FLOOR AREAS PROVIDED ARE TO PROVIDE ADEQUATE BRACING. SOIL USED FOR BACKFILL SHALL CONFORM TO THAT SPECIFIED IN THE CONCRETE FOUNDATION WALL SCHEDULE.
- ANCHOR BOLTS: SEE THE GENERAL STRUCTURAL NOTES AND SHEAR WALL SCHEDULE ON SHEET S1.1 FOR FOUNDATION ANCHOR BOLT REQUIREMENTS.
- HOLDOWNS: SEE THE METAL HOLDOWN SCHEDULE ON SHEET S1.1 AND DETAILS 5 & 9/S4.2 FOR ADDITIONAL INFORMATION. HOLDOWNS AS NOTED ON THE DRAWINGS ARE RIM HOLDOWNS. USE OF A TRAP WHEN LOCATED IN RIM JOISTS IS NOT PERMITTED UNLESS THE FLOOR AREAS PROVIDED ARE PROVIDED TO PROVIDE ADEQUATE BRACING. SOIL USED FOR BACKFILL SHALL CONFORM TO THAT SPECIFIED IN THE COMMENTS COLUMN OF THE METAL HOLDOWN SCHEDULE.
- RETAINING WALLS: SEE DETAILS 1/S4.1 AND 2/S4.1 FOR RETAINING WALL CONSTRUCTION INFORMATION FOR WALLS RETAINING LANDSCAPE AREAS ONLY. CONSTRUCTION INFORMATION FOR RETAINING WALLS EXCEEDING THE MAXIMUM GRADE DIFFERENCE NOTED ON THE DRAWINGS OR AREAS WHERE VEHICLE LOADING WILL BE WITHIN FOUR FEET OF TOP OF WALL.
- DECK FOOTINGS: PLASTIC CONCRETE SPOT FOOTING FORMS WITH EQUIVALENT OR GREATER FOOTING FOOTPRINT AND REINFORCING MAY BE USED IN PLACE OF TRADITIONALLY FORMED FOOTINGS.
- CONCRETE PORCH SLABS: PROVIDE REBAR DWELLS FROM CONCRETE SLABS TO ADJACENT CONCRETE FOUNDATION WALLS OVER BACKFILL AREAS AS SHOWN IN DETAIL 3/S5.2.
- CONCRETE SLAB CONTROL JOINTS: SLABS ON GRADE SHALL HAVE CONTROL OR EXPANSION JOINTS. THE JOINTS SHALL BE 12 FEET LONG AND 1/4 INCHES THICKNESS IN ANY DIRECTION. INSTALL JOINTS SO THAT LENGTH TO WIDTH RATIO BETWEEN THE JOINTS IS NOT MORE THAN 1.25 TO 1. INSTALL CONTROL JOINTS WITHIN 24 HOURS OF CONCRETE PLACEMENT BY SAW CUTTING DEPTH OF 1/4 INCH. THE JOINTS SHALL BE REINFORCED WITH (2) #4 X 48" REBAR. SEE DETAILS OF CONSTRUCTION JOINTS SHALL BE REINFORCED WITH (2) #4 X 48" REBAR. SEE DETAILS.
- WALLS: 2x4 WALLS ARE SHOWN WITH A 3 1/2" THICKNESS AND 2x6 WALLS ARE SHOWN WITH A 5 1/2" THICKNESS. ALL BEARING, SHEAR, AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
- SHRINKAGE JOINTS: SEE THE SHRINKAGE JOINT SCHEDULE FOR ADDITIONAL INFORMATION. ALL EXTERIOR SHEAR WALLS SHALL HAVE A SHRINKAGE JOINT. ALL SHEAR WALLS SHALL BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1 THRU S6.3. U.N.O. ALL SHEAR WALLS NOTED AS BRACED WALLS SHALL BE A SWI SHEAR WALL TYPE.
- BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL BE SHOWN WITH A 3 1/2" THICKNESS AND 2x6 WALLS ARE SHOWN WITH A 5 1/2" THICKNESS. ALL BEARING AND EXTERIOR WALLS SHALL BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1 THRU S6.3. U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE DRAWINGS, SEE THE WOOD BEAM/HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. CONCRETE BEAMS FOR WOOD BEAM/HEADER ARE NOT DESIGNATED ON PLANS THAT HAVE A SPAN GREATER THAN 5'-0". SEE THE WOOD BEAM/HEADER SCHEDULE FOR SPAN UP TO 5'-0" THAT ARE NOT NOTED OTHERWISE ON THE PLANS.
- FLOOR FRAMING: ALL FLOOR JOISTS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OR MORE BEARING POINTS. SEE THE DETAILS ON SHEETS S4.1, S4.2, AND S4.3. FLOOR JOISTS THAT RUN PARALLEL TO EXTERIOR BEARING AND/OR SHEAR WALLS SHALL HAVE SOLID BLOCKING PROVIDED BY ONE OF THE METHODS SHOWN IN DETAILS 5, 6, 8, OR 9/S4.1, WHERE POSSIBLE, ALL FLOOR FRAMING SHALL BE CONTINUOUS OVER INTERMEDIATE BEARING SUPPORTS.
- FLOOR FRAMING PERFORMANCE: THE FLOOR FRAMING SYSTEM DESIGNATED IN THESE DRAWINGS EXCEED THE MINIMUM CODE REQUIREMENTS AND REPRESENT A STANDARD FLOOR PERFORMANCE. HOWEVER, DUE TO VARIATIONS IN AN INDIVIDUAL FLOOR FRAMING SYSTEM, THE OWNER/CONTRACTOR AND OWNER/CONTRACTOR SHALL VERIFY THAT THE DESIGNATED FLOOR FRAMING SYSTEM IS ACCEPTABLE TO THE OWNER'S EXPECTATIONS BEFORE BEGINNING FLOOR CONSTRUCTION.
- WOOD POSTS: ALL WOOD POSTS SHALL HAVE APPROPRIATE METAL POST CAPS AND BASE CONSTRUCTORS INSTALLED GOOD FOR AT LEAST 900 POUNDS UPLIFT. WOOD POSTS INSTALLED IN CONCRETE SHALL NOT BE PLACED IN A STANDOFF BASE. WHERE POSTS ARE INSTALLED ON CONC. PIERS OR FOOTINGS SEE DETAILS 9/S4.1, 10/S4.1, AND 8/S4.2 FOR ADDITIONAL INFORMATION.
- METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE DRAWINGS. SEE THE METAL CONNECTOR SCHEDULE ON SHEET S1.1 FOR ADDITIONAL INFORMATION.
- DECK FLOORS: ALL DECK FLOORS SHALL BE HORIZONTALLY TIED TO INTERIOR FLOORS TO RESIST SEISMIC FORCES. SEE DETAIL 1/S5.1.
- TRUSS FABRICATION: IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE FLOOR FRAMING AS SHOWN ON THE DRAWINGS (INCLUDING ATTIC BONDED ROOMS, VAULTED CEILINGS, RAISED CEILINGS, ETC.), NOTIFY THE DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
- TRUSS RAFTER, AND ROOF FRAMING: ALL TRUSSES AND RAFTERS SHALL BE SUPPORTED AT BEARING POINTS. ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1, S4.2, AND S4.3, IN THE TOP OF OVERBUILD AREA, PROVIDE OVERBUILD TRUSSES OR STICK FRAME AS SHOWN IN DETAIL 6/S6.2.
- TRUSS DRAG STRUTS: TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 PFS MIN. IN-PLANE HORIZONTAL SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.

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CRAWL SPACE / FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

DESIGN LOADS

ROOF: SNOW = 30 psf
DEAD = 17 psf
FLOOR: LIVE = 40 psf
DEAD = 17 psf
DECK: LIVE = 60 psf
DEAD = 12 psf

GROUND SNOW LOAD = 43 psf
ULTIMATE DESIGN WIND SPEED, $V_{u,1}$ = 115 mph
NOMINAL DESIGN WIND SPEED, $V_{u,2}$ = 90 mph
SEISMIC DESIGN CATEGORY 'D'

SITE CLASS 'D'
SOI BEARING PRESSURE = 1500 psf

CONTRACTOR & OWNER SHALL VERIFY ACCURACY OF SNOW, WIND, AND SEISMIC DESIGN. (NO GYPCRETE OR LIGHTWEIGHT CONC. HAS BEEN INCLUDED IN THE FLOOR DESIGN.)

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LOT #: _____
SUBDIVISION: _____
ADDRESS: 2210 JEFFERSON

CITY: OGDEN STATE: UTAH

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DATE: 12/18/2019

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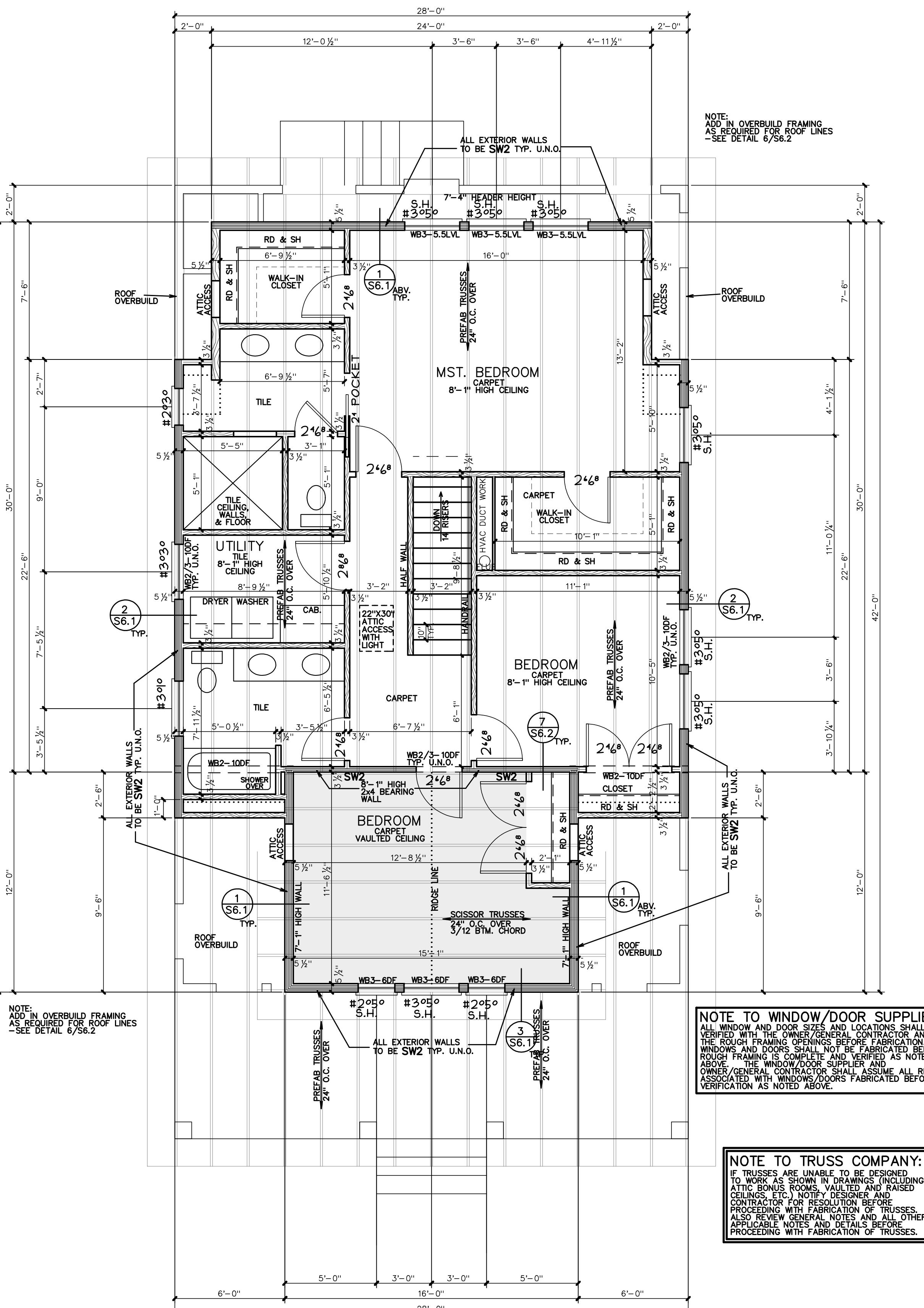
SHEET BASEMENT/FOUNDATION PLAN
S2.2
DATE: 12/18/2019 DRAWN: CWH/TUH TYPE: ORIGINAL DRAWING
JOB NO.: 19092 PLAN NO.: 1-1-1232-3-2-1032-2 STORY
SHEET



DESIGN LOADS
ROOF: SNOW = 30 psf
DEAD = 17 psf
FLOOR: LIVE = 40 psf
DEAD = 17 psf
DECK: LIVE = 60 psf
DEAD = 12 psf
GROUND SNOW LOAD = 43 psf
ULTIMATE DESIGN WIND SPEED, $V_{u,1}$ = 115 mph
NOMINAL DESIGN WIND SPEED, $V_{u,2}$ = 90 mph
SEISMIC DESIGN CATEGORY 'D'
SITE CLASS 'D'
SOI BEARING PRESSURE = 1500 psf
CONTRACTOR & OWNER SHALL VERIFY ACCURACY OF SNOW, WIND, AND SEISMIC DESIGN. (NO GYPCRETE OR LIGHTWEIGHT CONC. HAS BEEN INCLUDED IN THE FLOOR DESIGN.)
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ADDRESS: 2210 JEFFERSON
CITY: OGDEN STATE: UTAH
ANY OTHER USE OF THESE DRAWINGS & DESIGNS IS STRICTLY PROHIBITED AND VIOLATORS WILL BE PROSECUTED.
DATE: 12/18/2019
CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS, READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

PLOT DATE/TIME: 12/18/2019 11:12 AM

NOTES TO PLAN:



UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

UPPER FLOOR AREA = 1032 SQ. FT.

DESIGN LOADS

ROOF: SNOW = 30 psf
DEAD = 17 psf
FLOOR: LIVE = 40 psf
DEAD = 20 psf
DECK: LIVE = 60 psf
DEAD = 12 psf

GROUND SNOW LOAD = 43 psf
ULTIMATE DESIGN WIND SPEED, V_{30} = 115 mph
NOMINAL DESIGN WIND SPEED, V_{30} = 90 mph
SEISMIC DESIGN CATEGORY 'D'
SITE CLASS 'D'
SOIL BEARING PRESSURE = 1500 psf

CONTRACTOR/OWNER SHALL VERIFY ACCURACY OF SNOW, WIND, AND SEISMIC DESIGN. (NO GYPSUM, CEMENT, OR LIGHTWEIGHT CONC. HAS BEEN INCLUDED IN THE FLOOR DESIGN).

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DATE: 12/18/2019

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SHEET

UPPER FLOOR PLAN

SHEET

S2.4

SHEET

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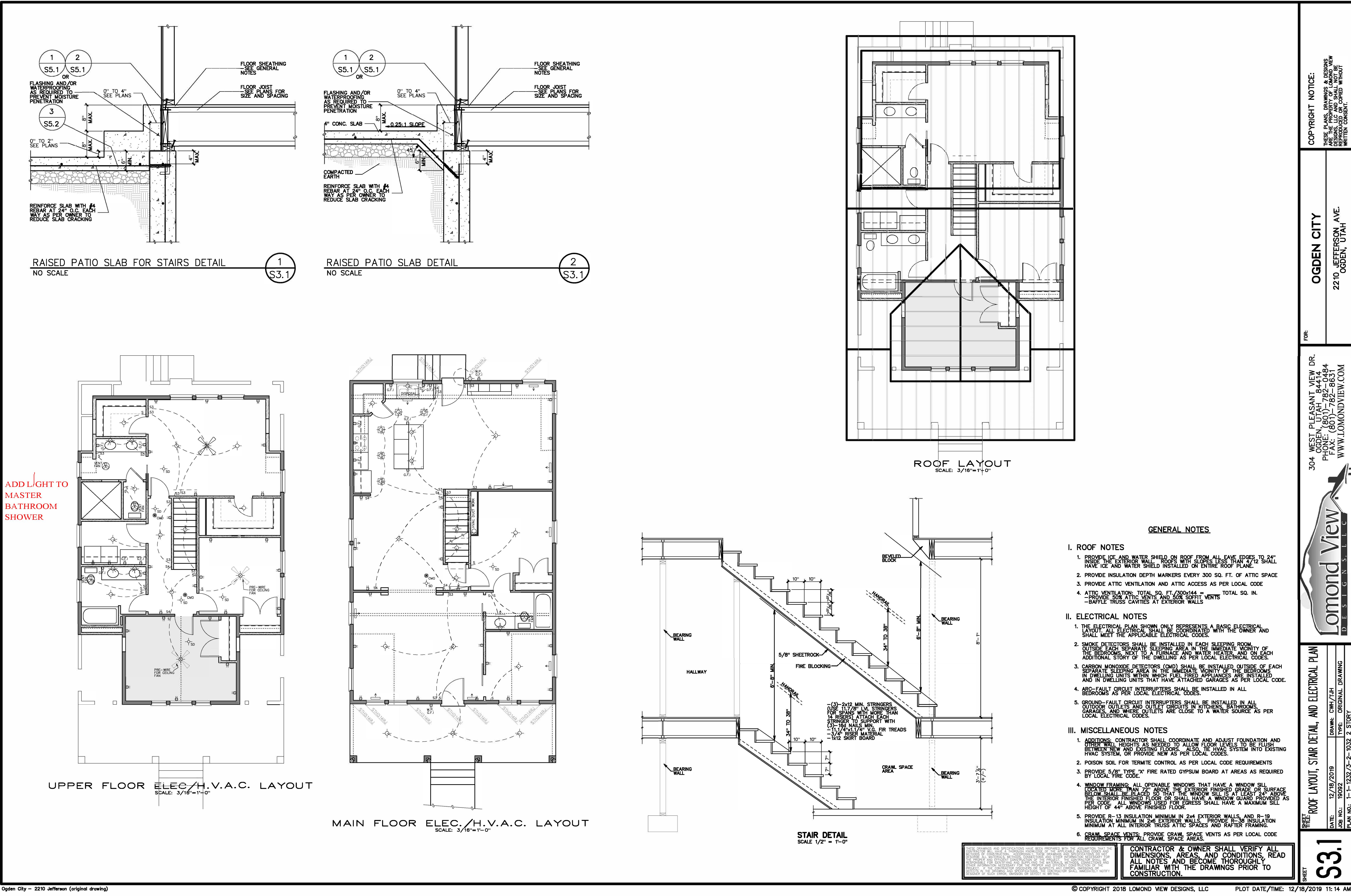
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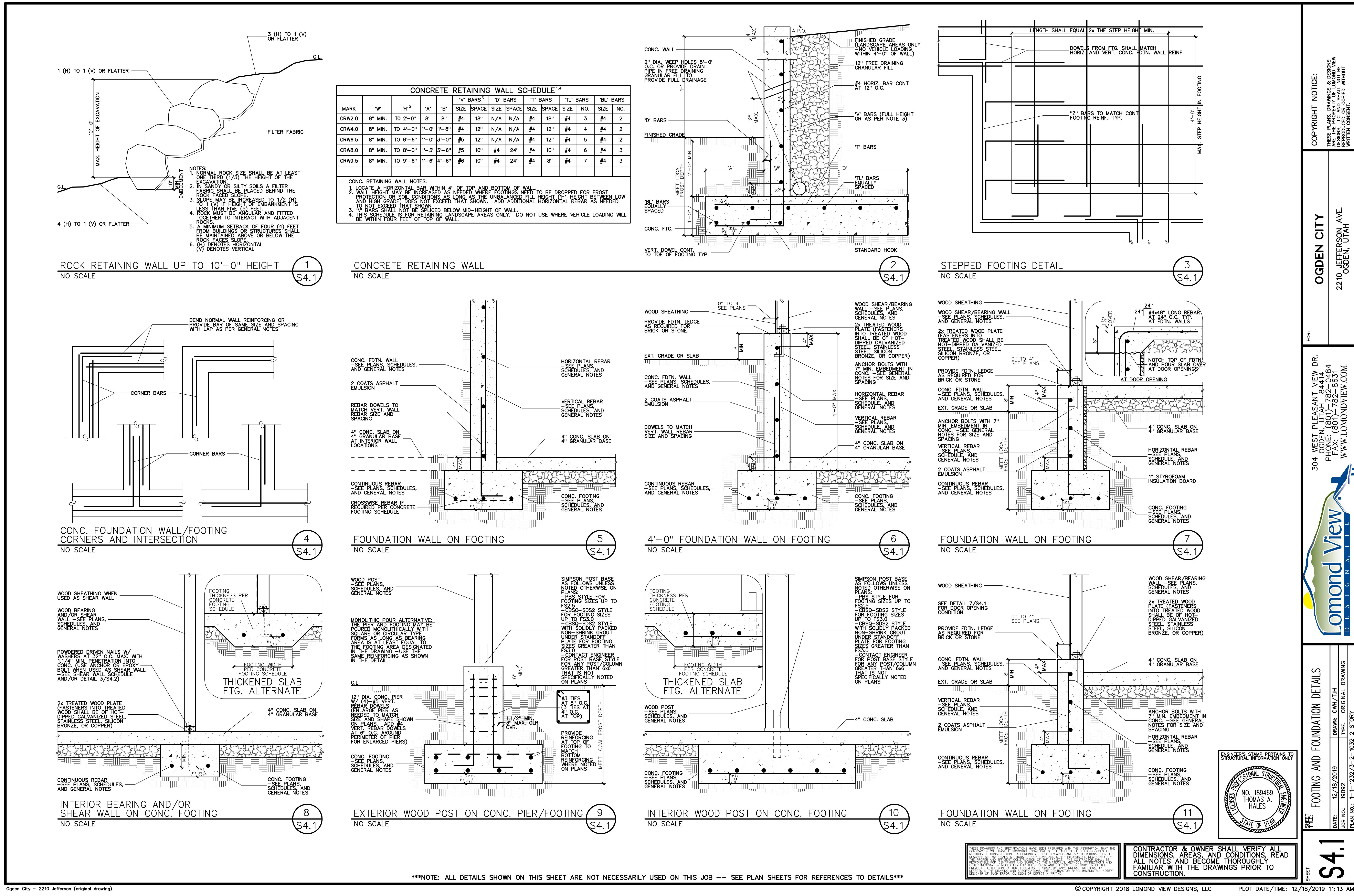
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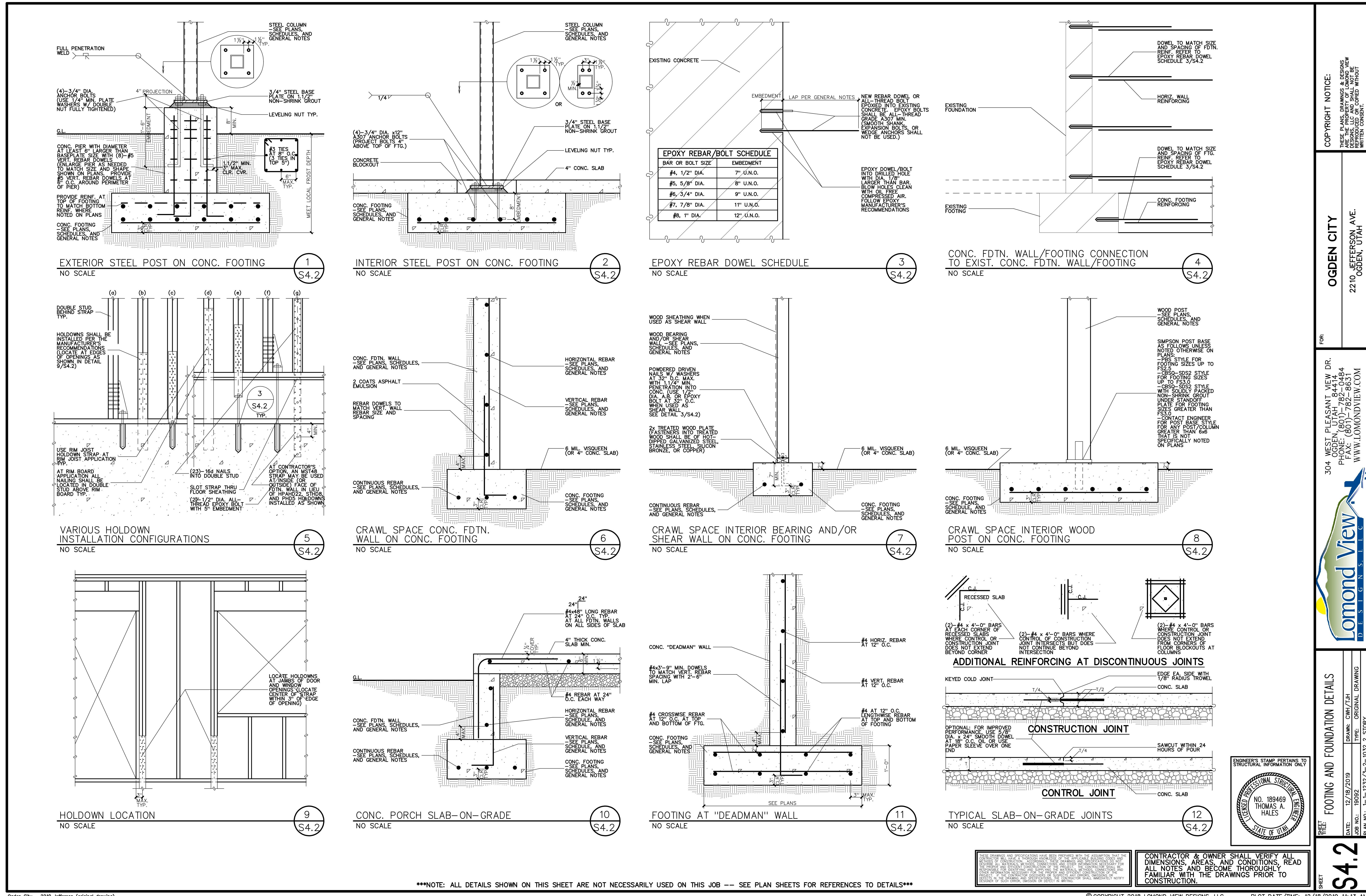
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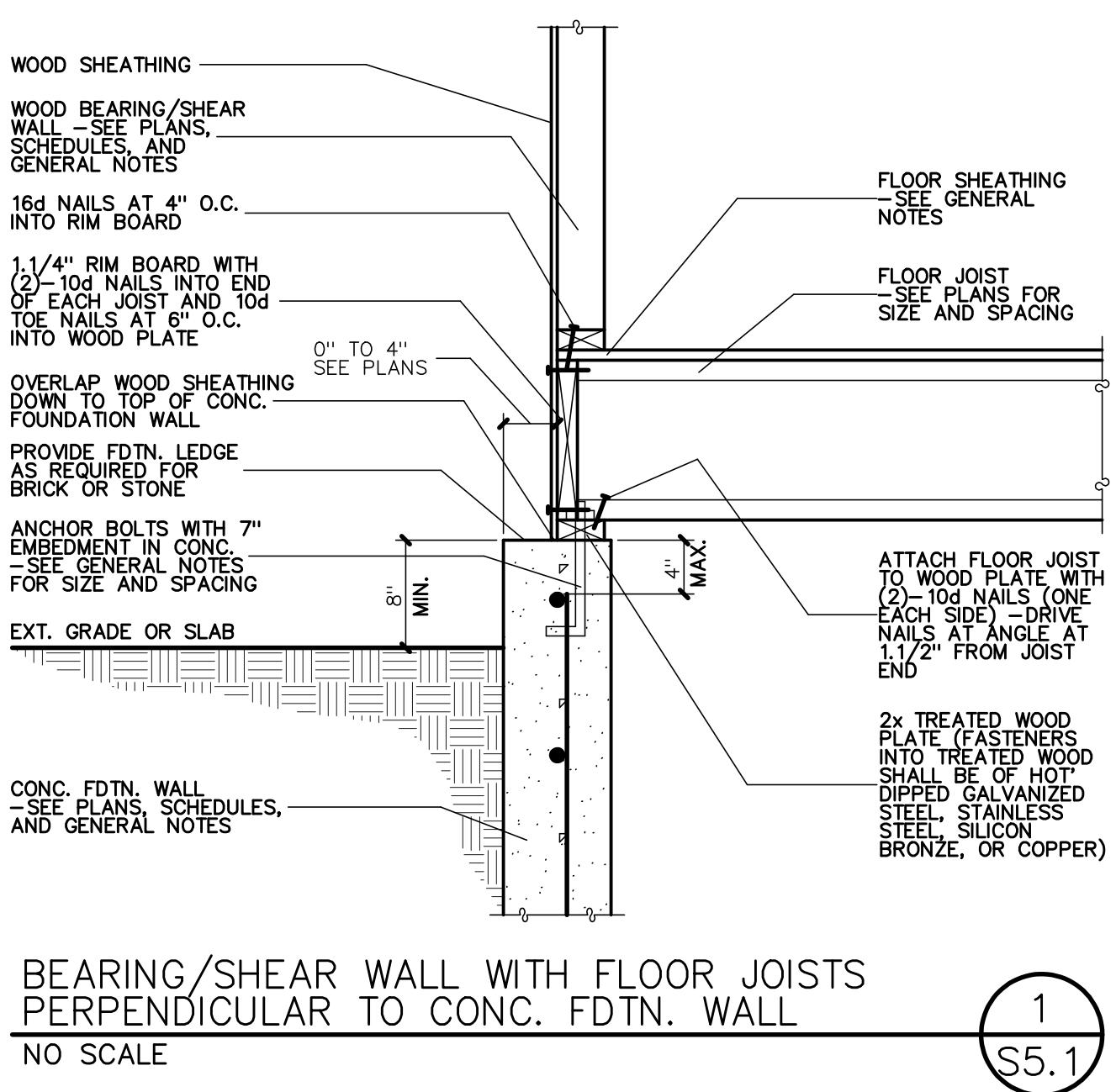
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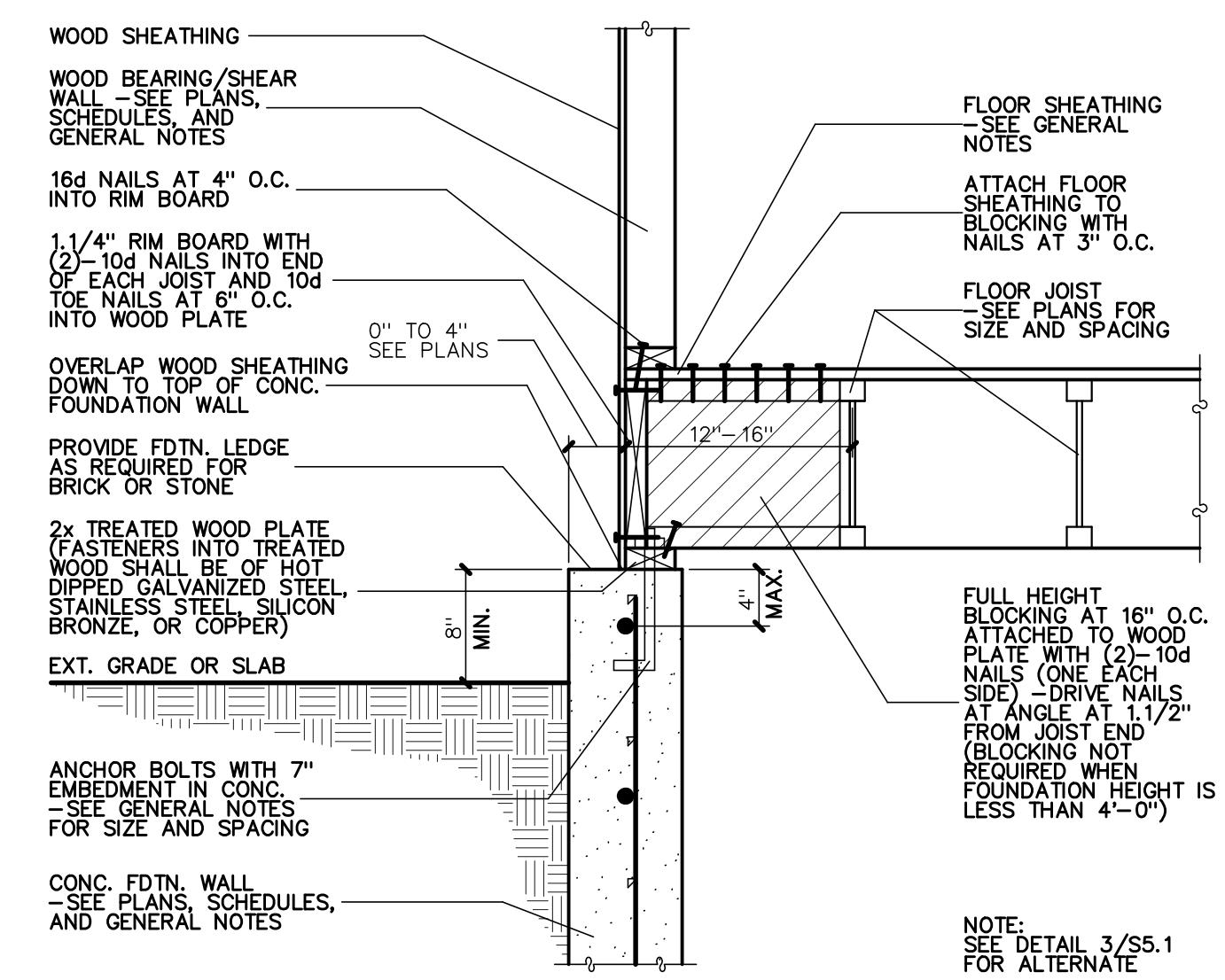




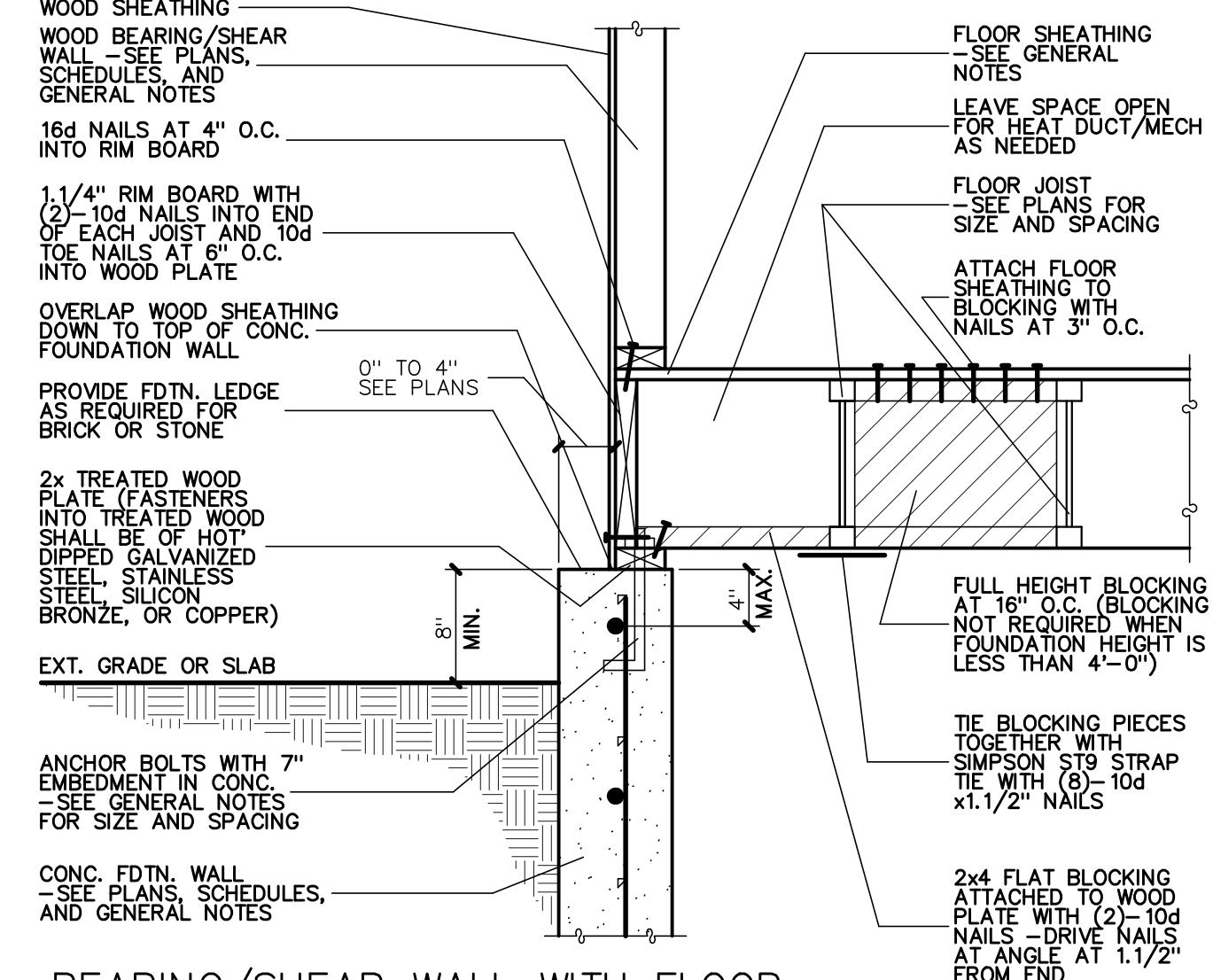




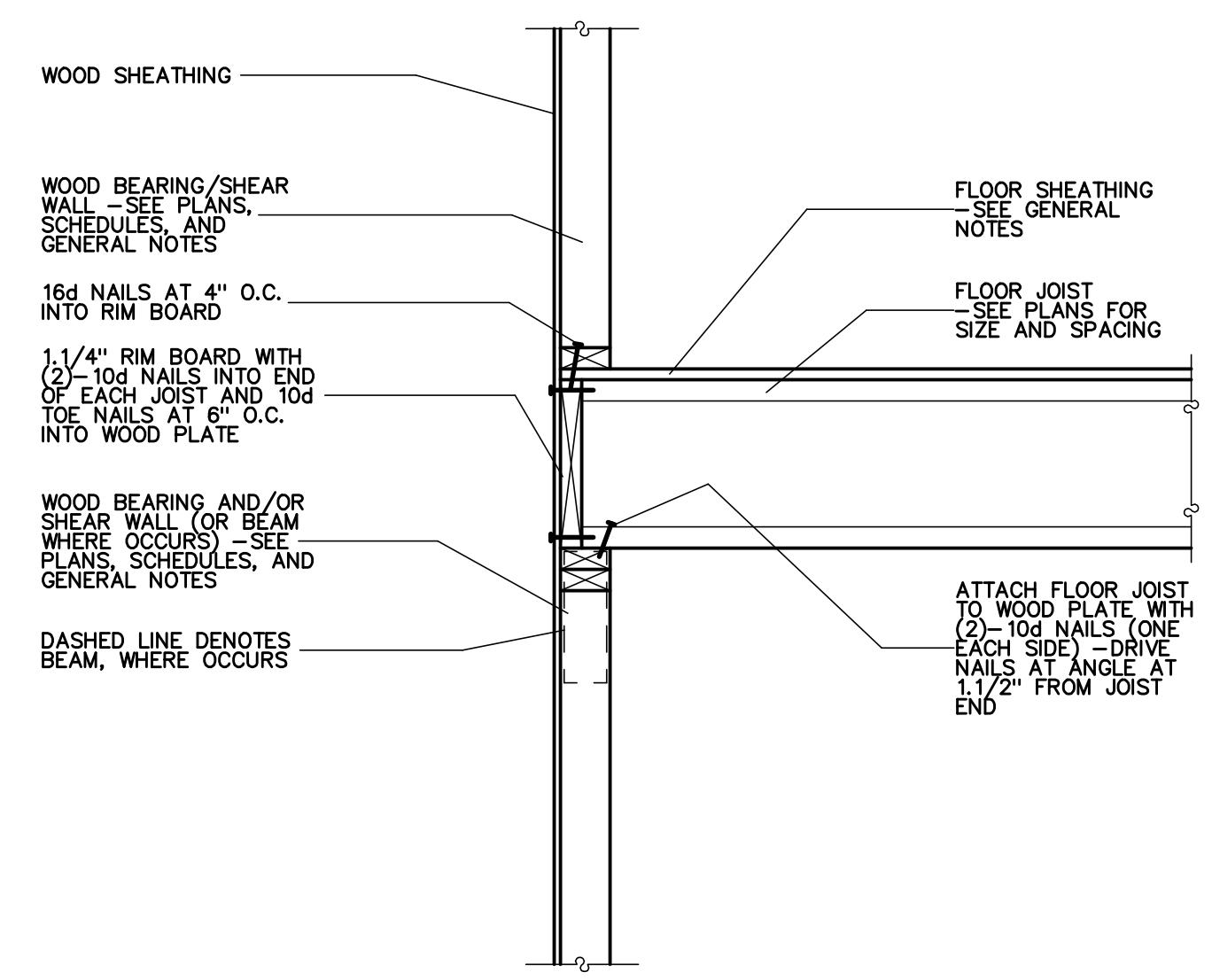
BEARING/SHEAR WALL WITH FLOOR JOISTS
PERPENDICULAR TO CONC. FDTN. WALL
NO SCALE
S5.1



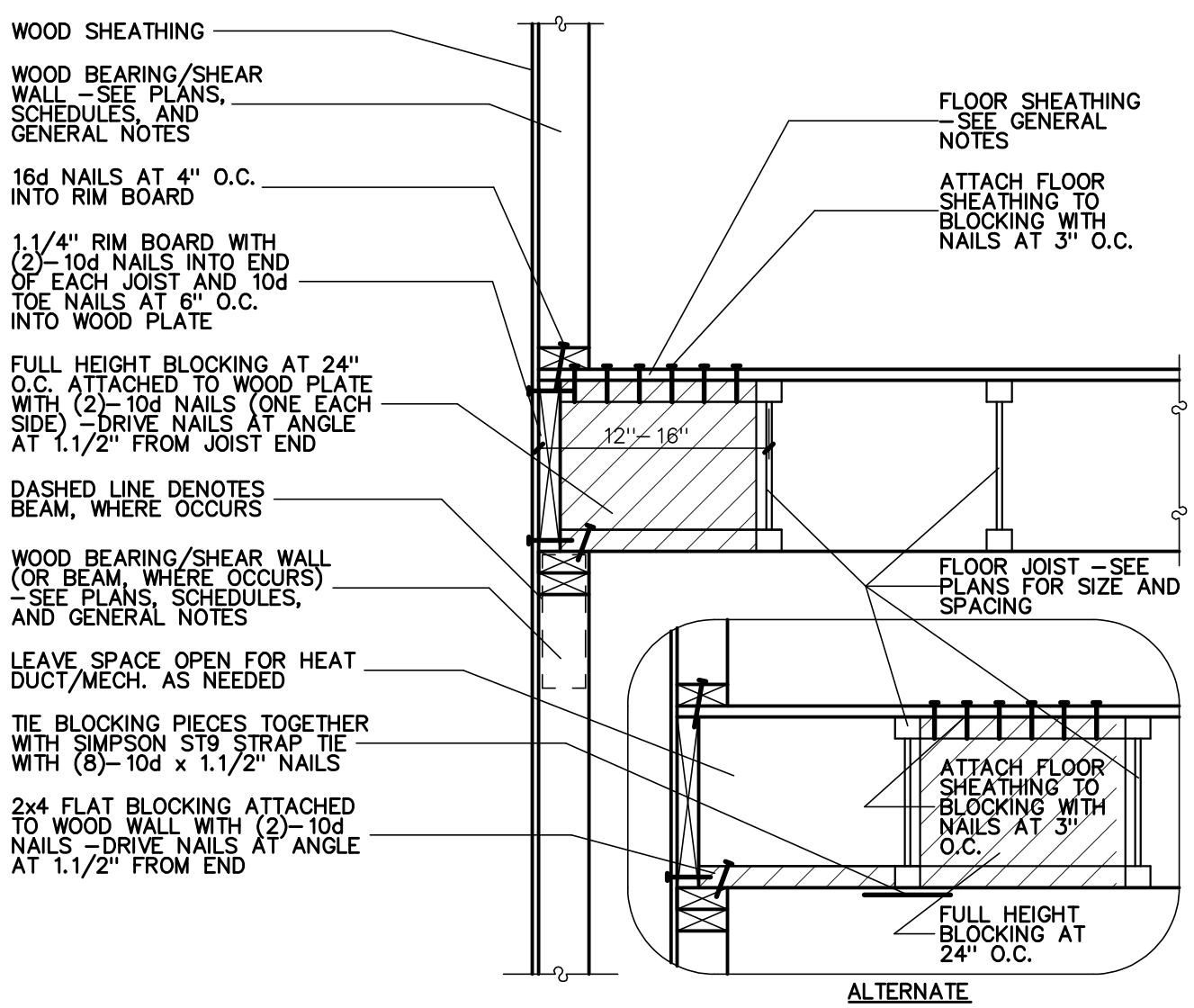
BEARING/SHEAR WALL WITH FLOOR JOISTS
JOISTS PARALLEL TO CONC. FDTN. WALL
NO SCALE
S5.1



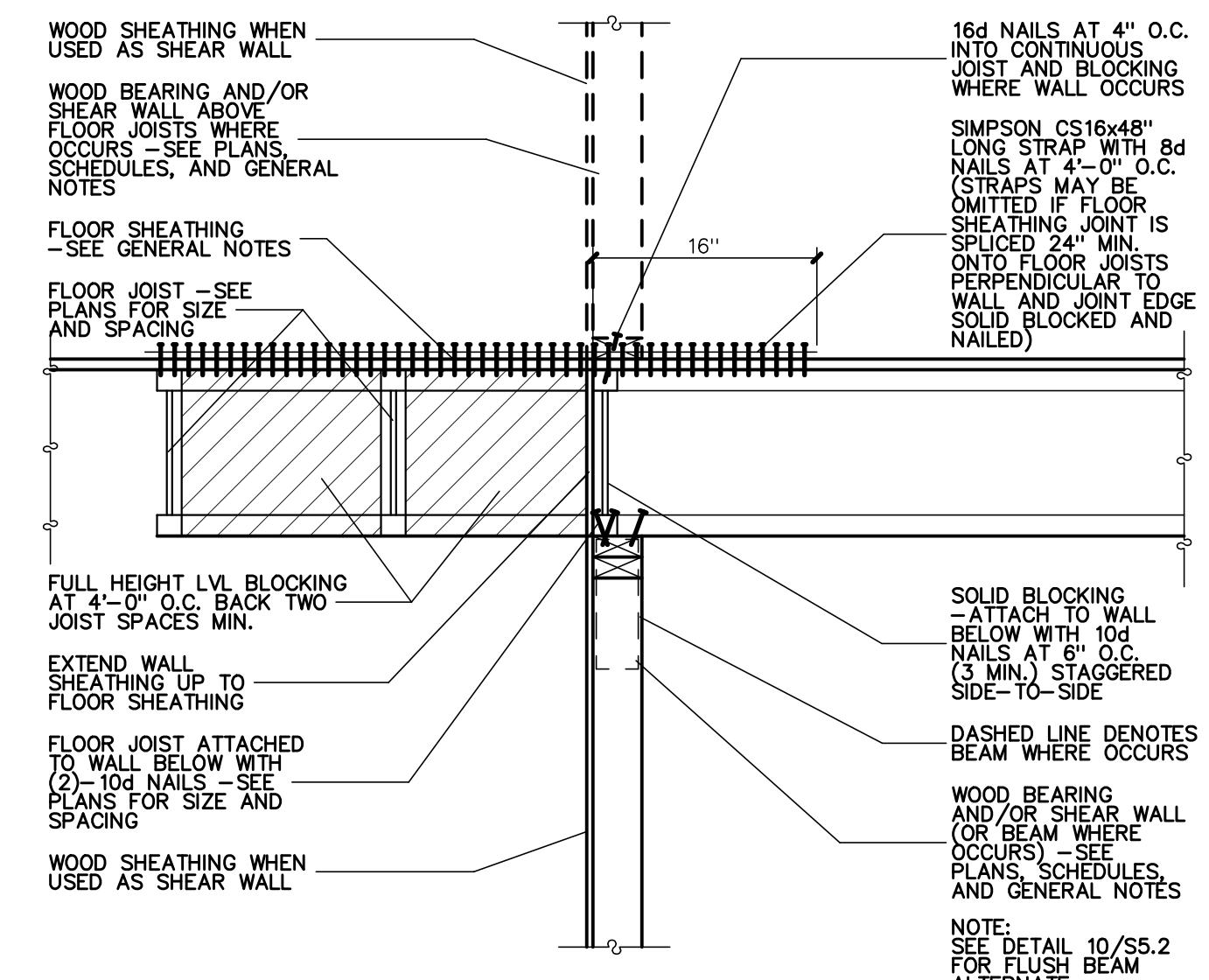
BEARING/SHEAR WALL WITH FLOOR
JOISTS PARALLEL TO CONCRETE
FOUNDATION WALL (ALTERNATE)
NO SCALE
S5.1



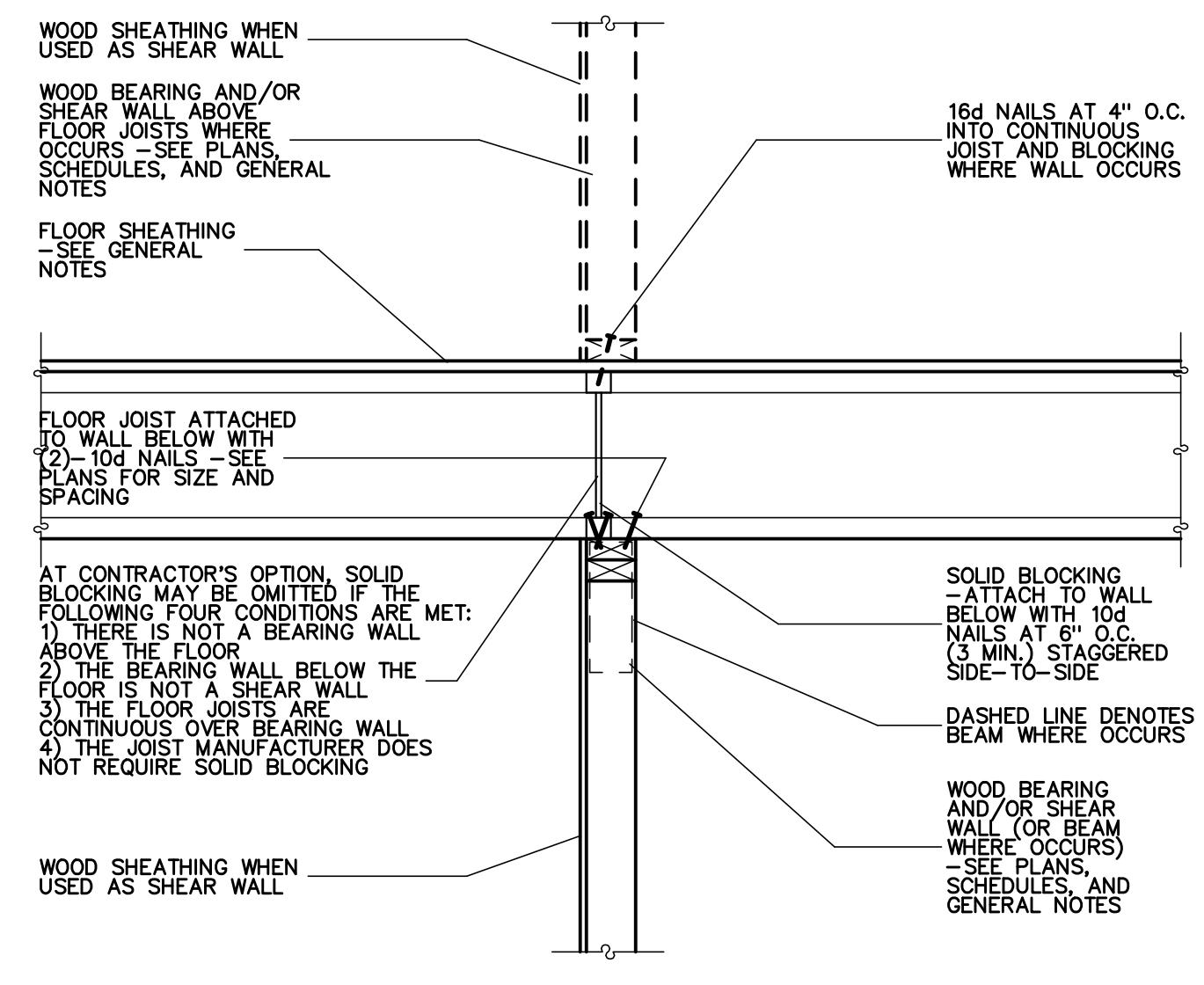
BEARING/SHEAR WALL WITH FLOOR
JOISTS PERPENDICULAR TO WOOD WALL
NO SCALE
S5.1



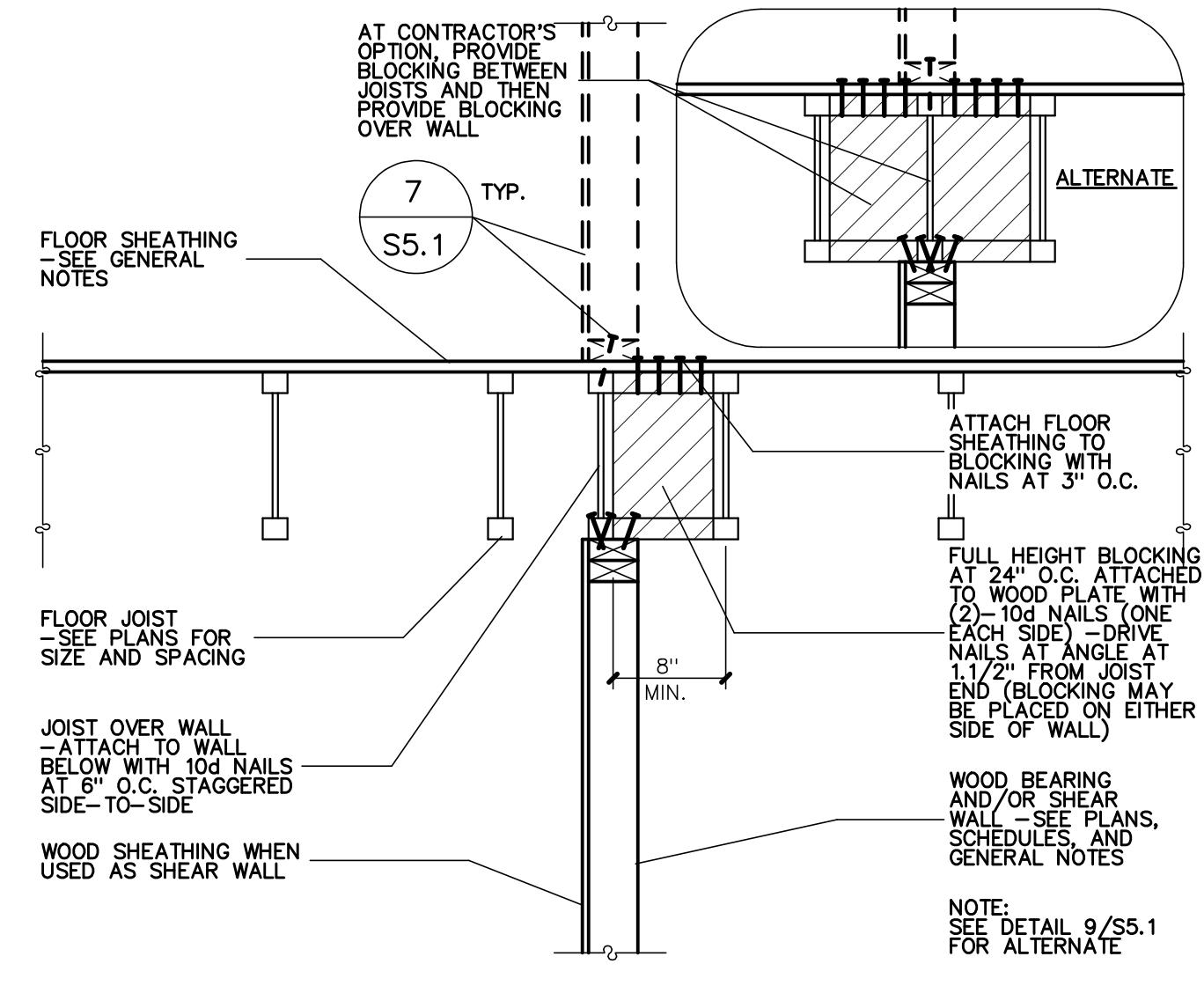
BEARING/SHEAR WALL WITH FLOOR
JOISTS PARALLEL TO WOOD WALL
NO SCALE
S5.1



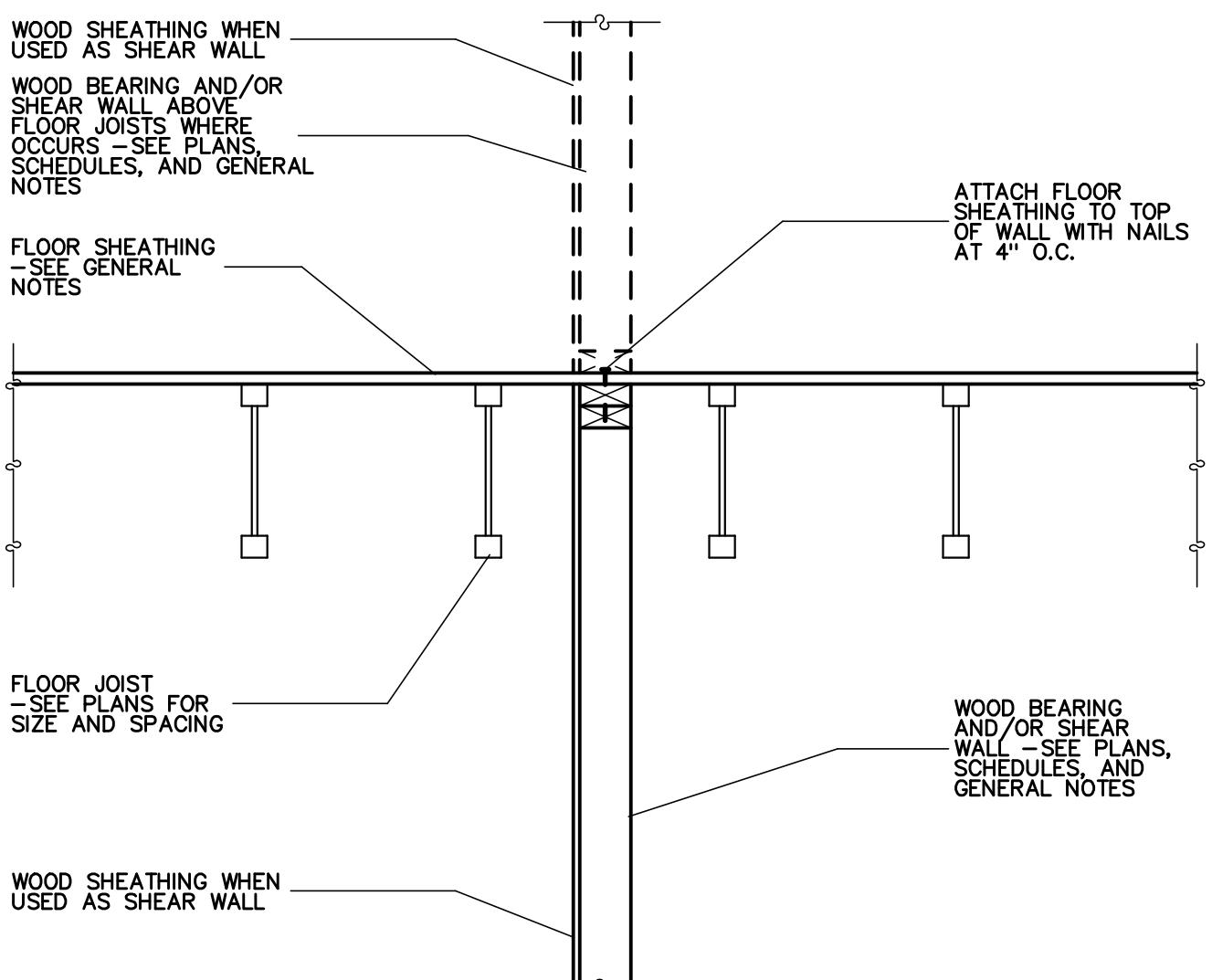
BEARING AND/OR SHEAR WALL WITH FLOOR
JOISTS PERPENDICULAR AND PARALLEL TO WALL
NO SCALE
S5.1



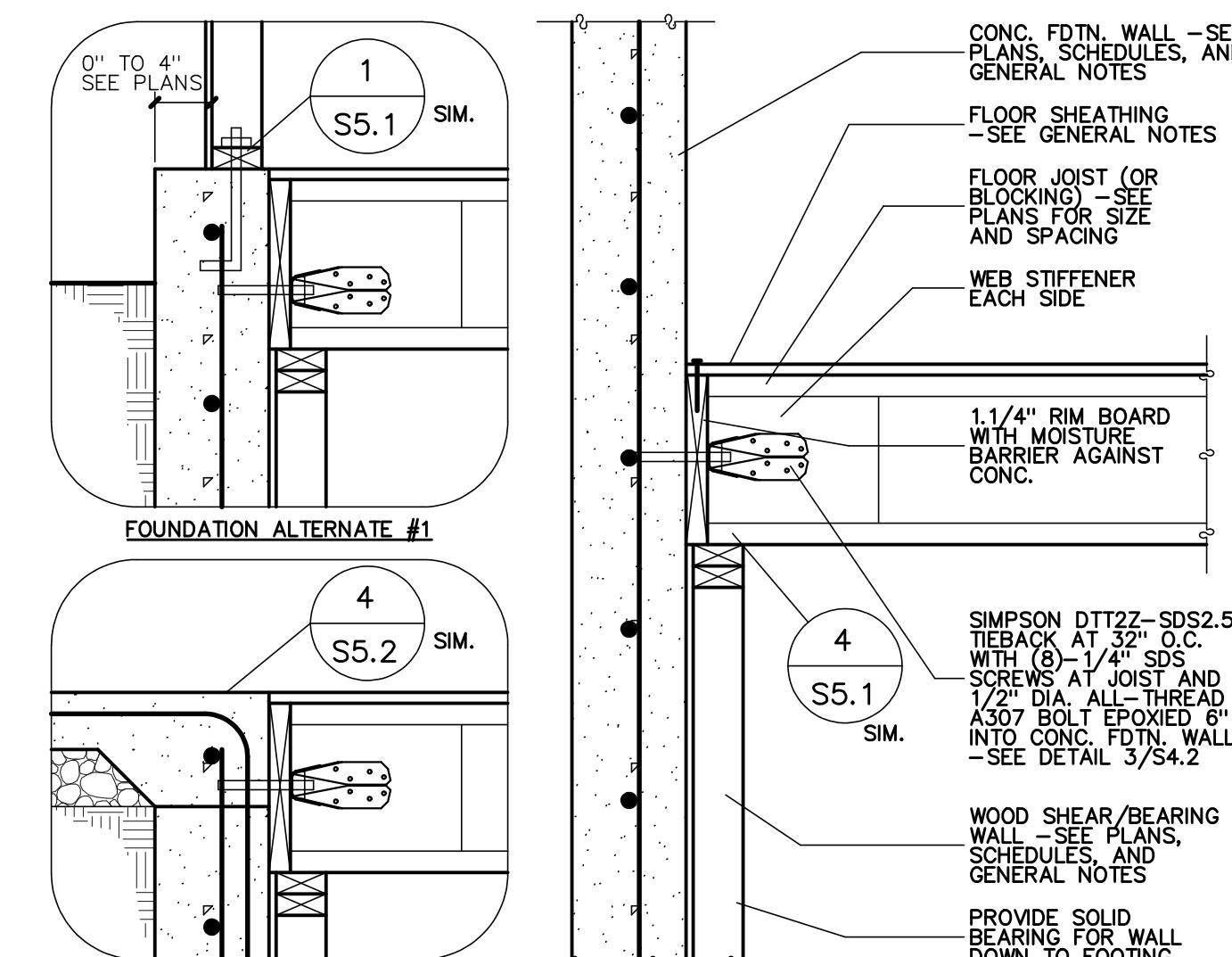
BEARING AND/OR SHEAR WALL WITH
FLOOR JOISTS PERPENDICULAR TO WALL
NO SCALE
S5.1



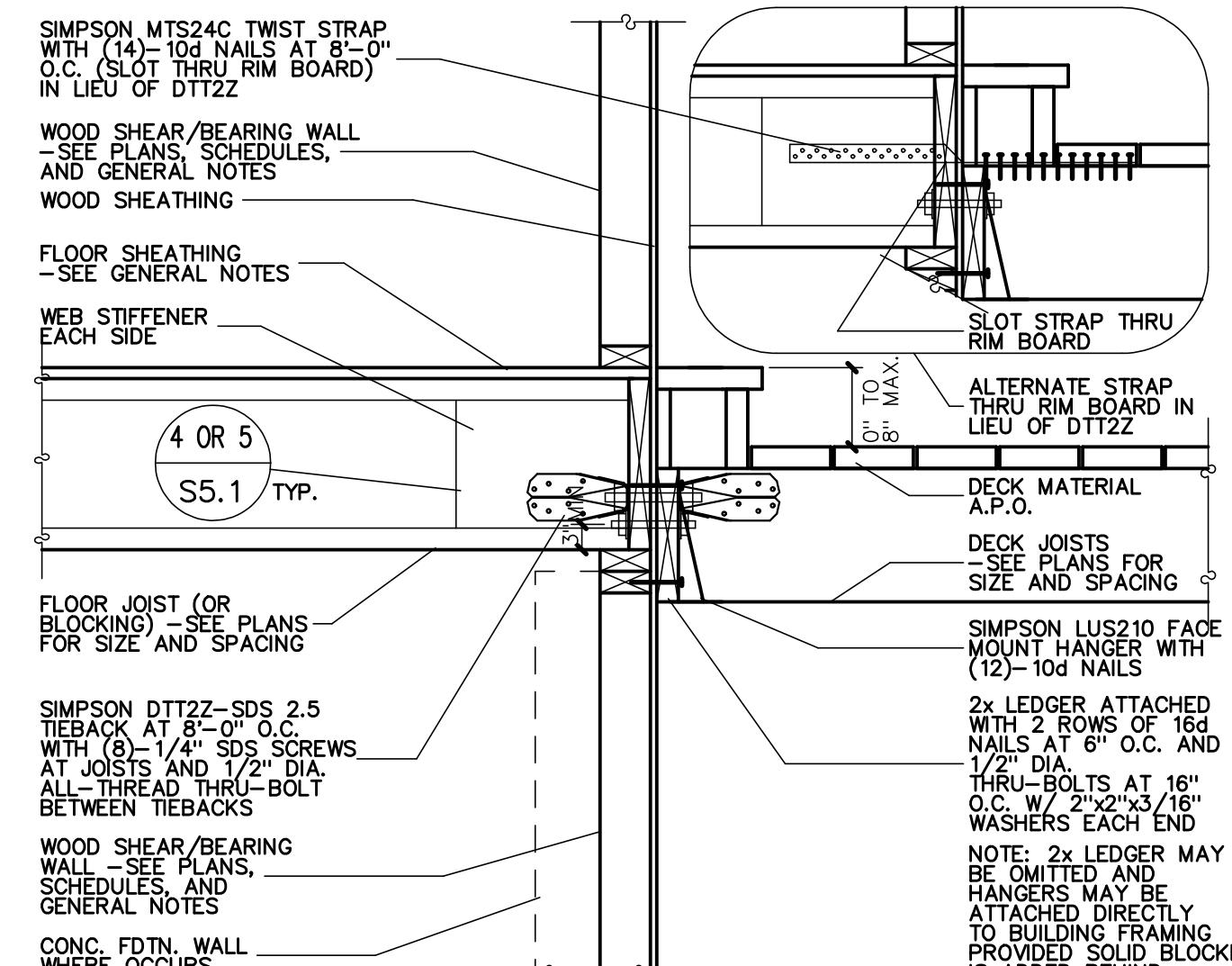
BEARING AND/OR SHEAR WALL WITH
FLOOR JOISTS PARALLEL TO WALL
NO SCALE
S5.1



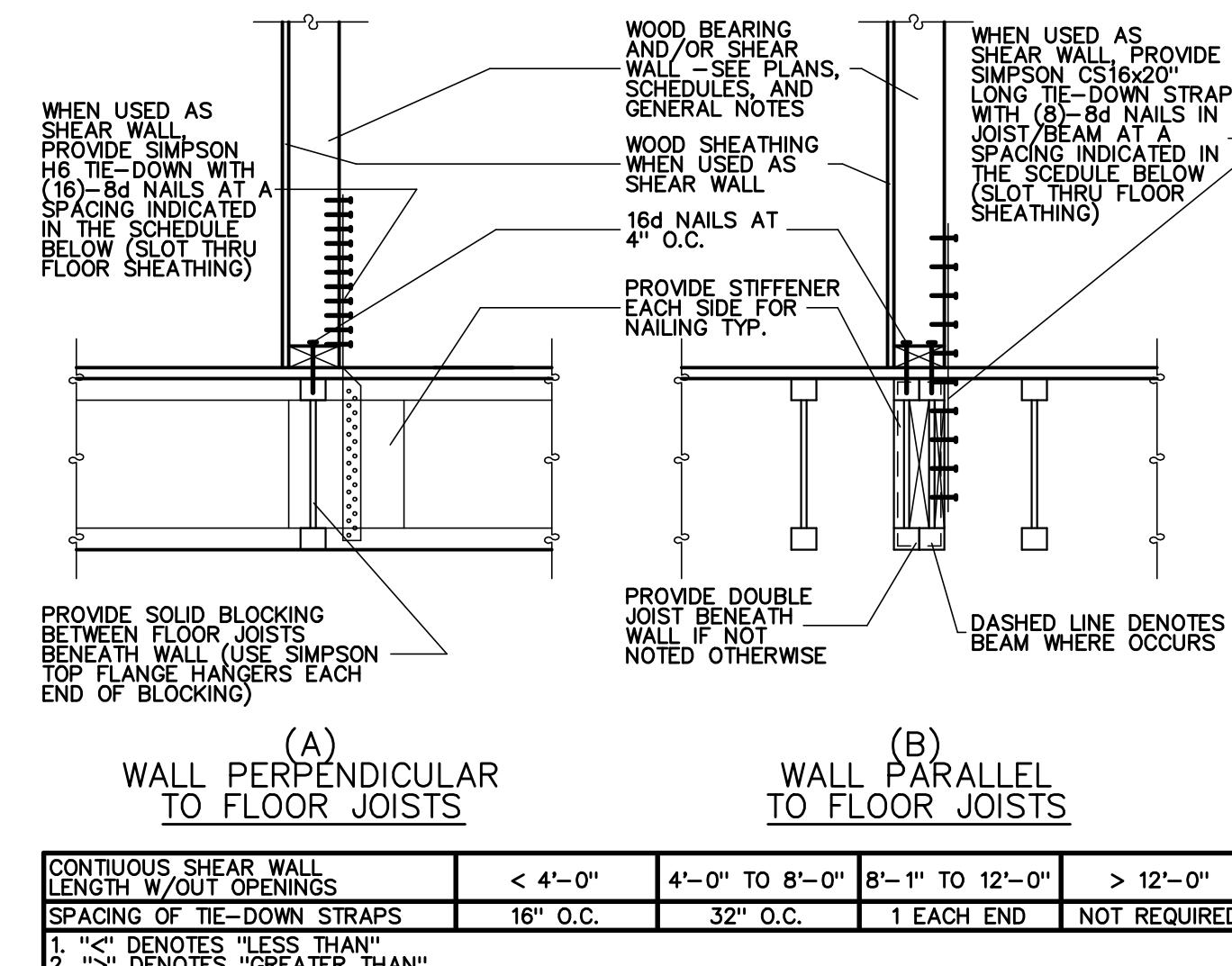
BEARING AND/OR SHEAR WALL WITH
FLOOR JOISTS PARALLEL TO WALL
NO SCALE
S5.1



FLOOR JOIST TO FACE OF
FOUNDATION WALL
NO SCALE
S5.1



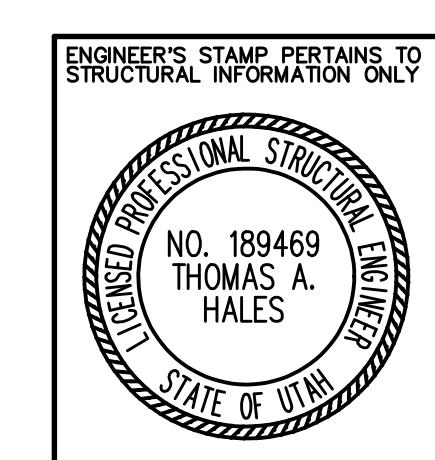
DECK FRAMING TIE-BACK
AT EXTERIOR WALL
NO SCALE
S5.1

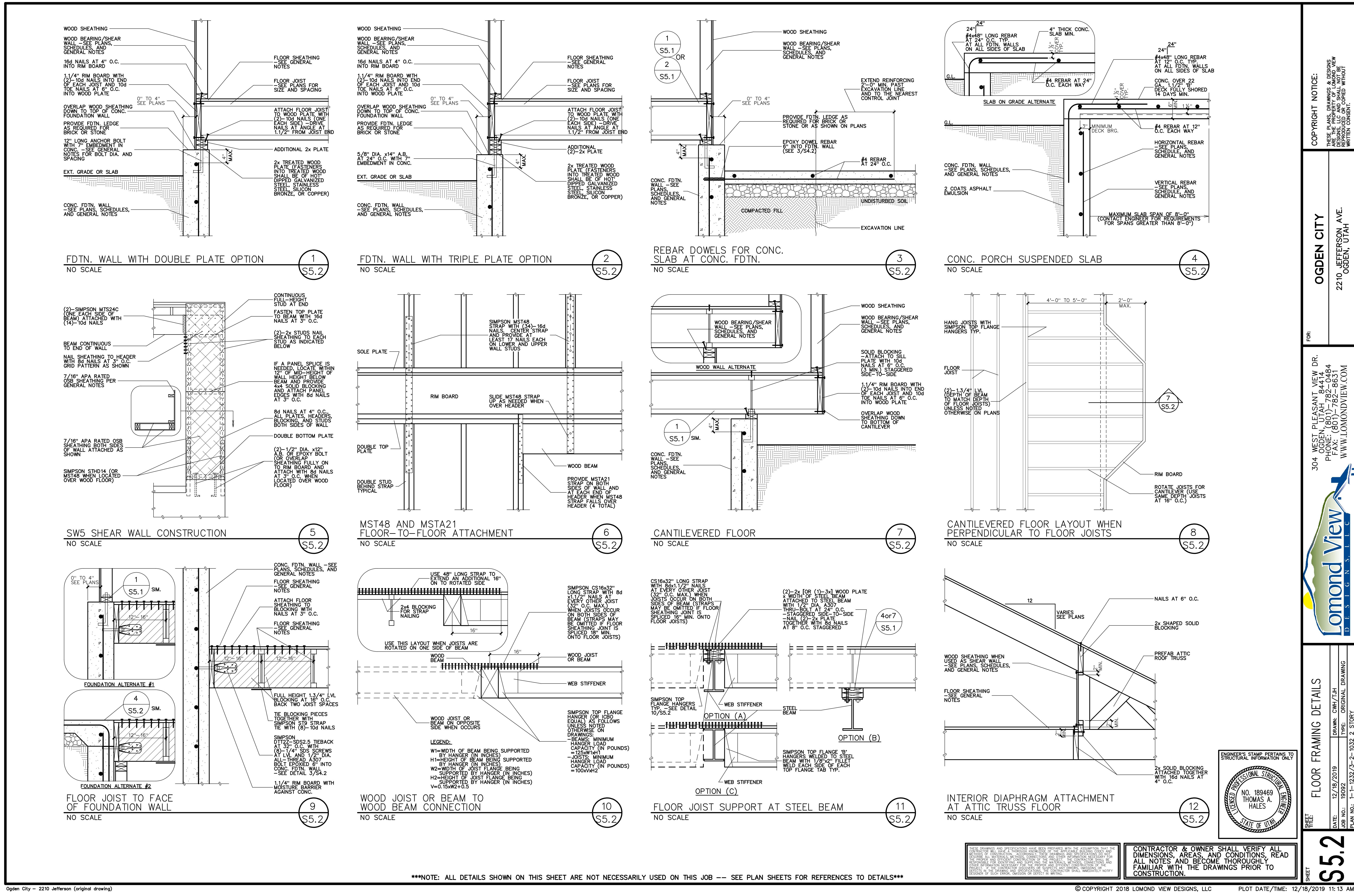


BEARING AND/OR SHEAR WALL WITHOUT
BEARING AND/OR SHEAR WALL DIRECTLY BELOW
NO SCALE
S5.1

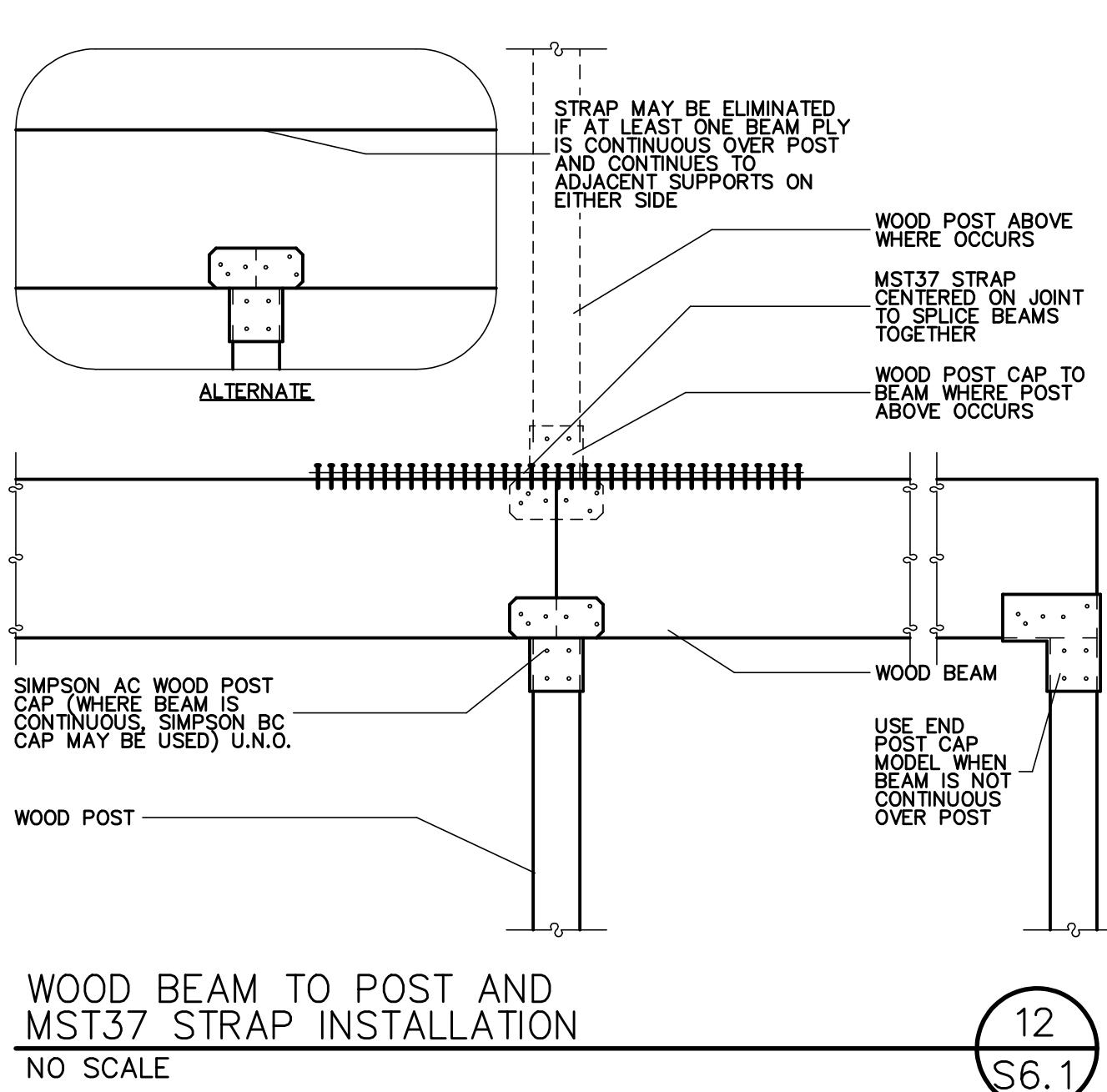
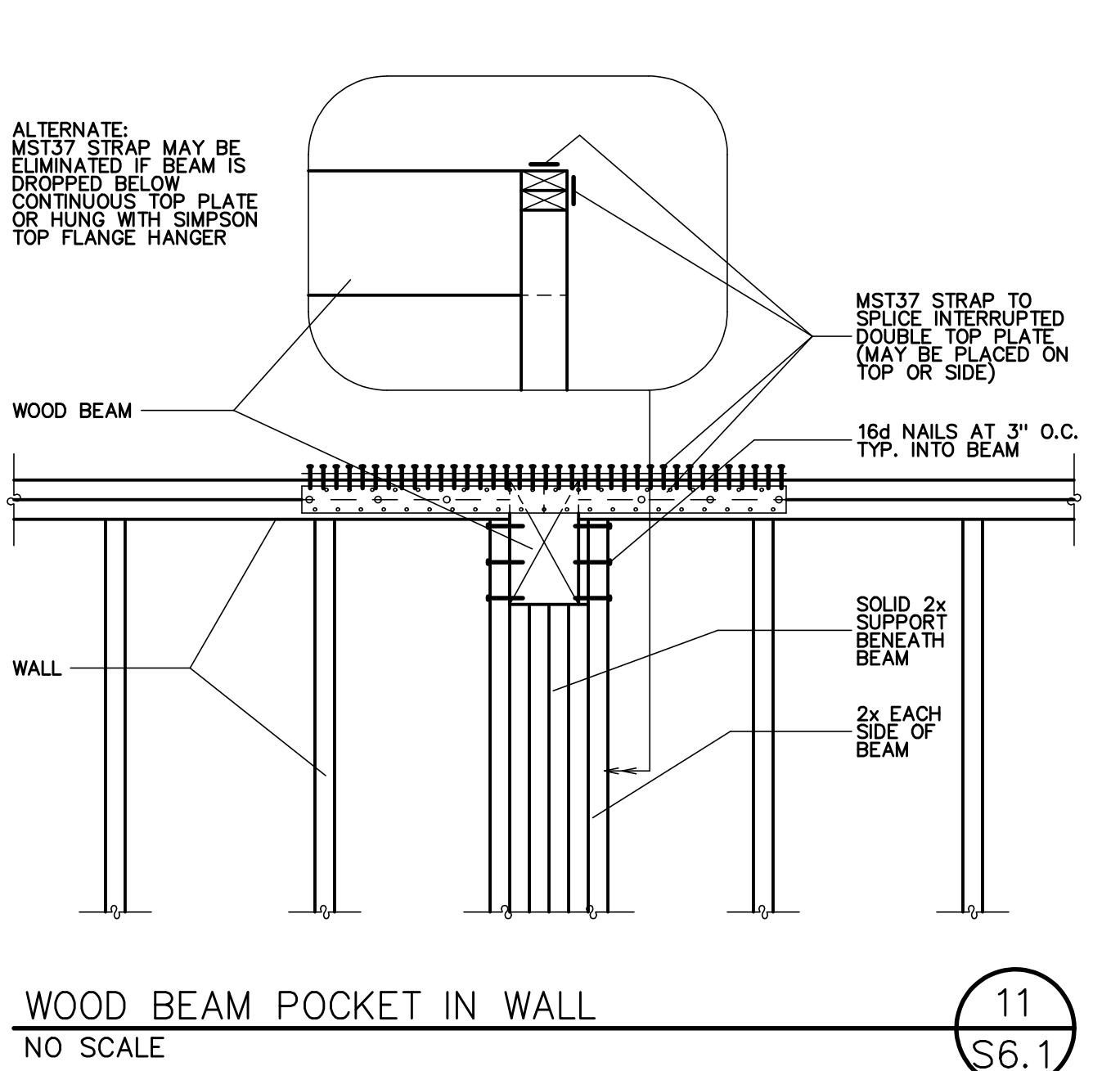
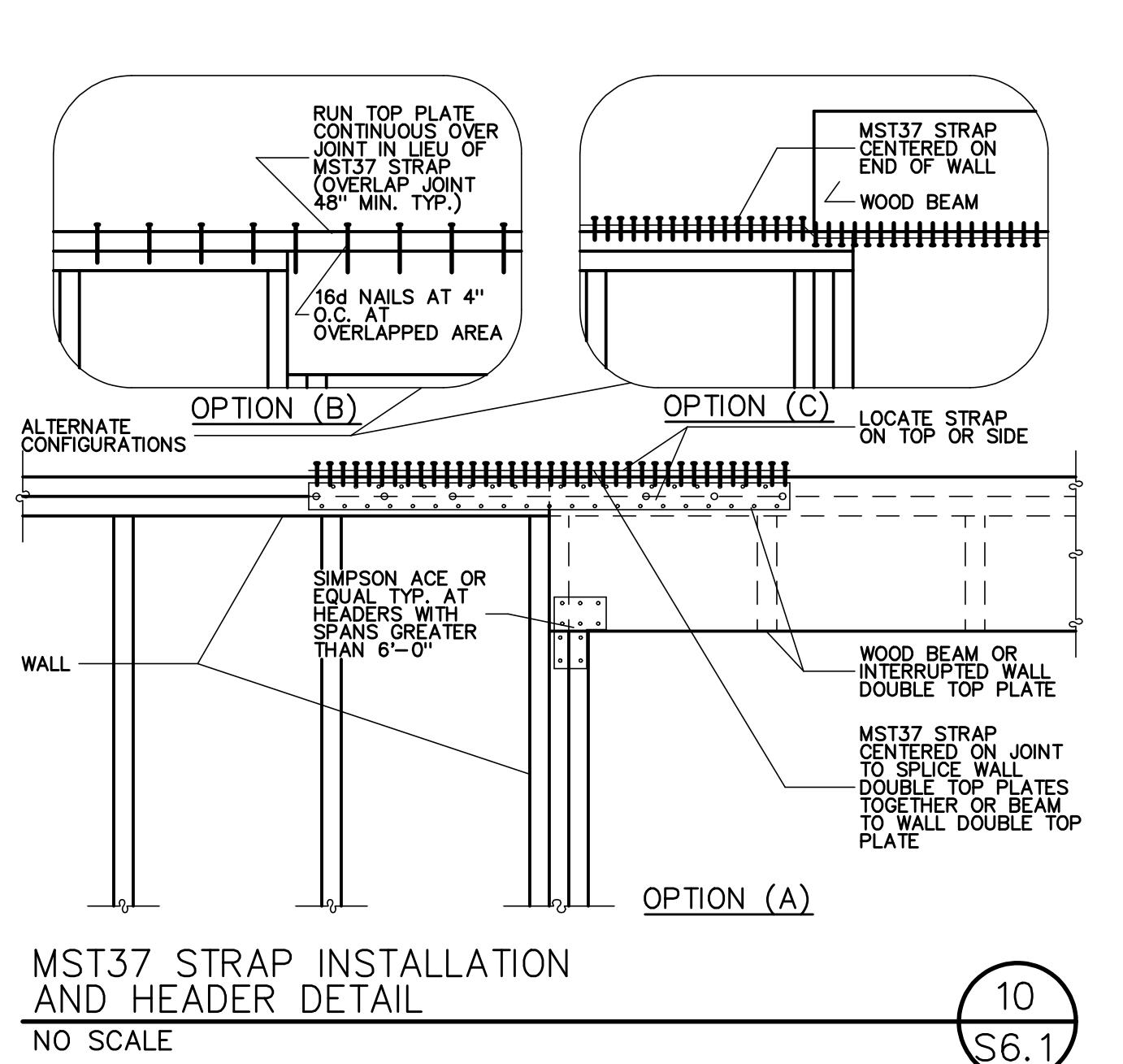
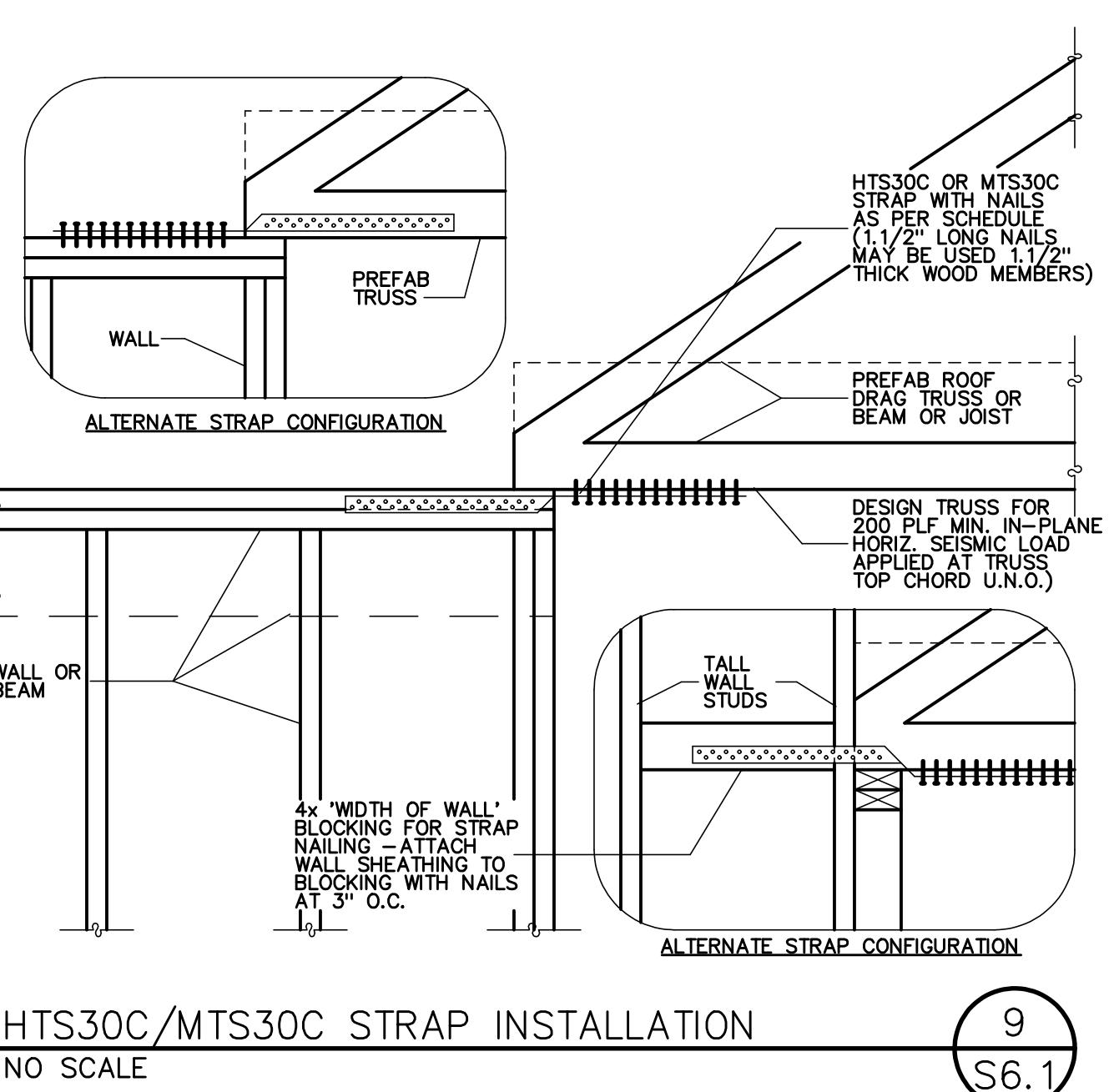
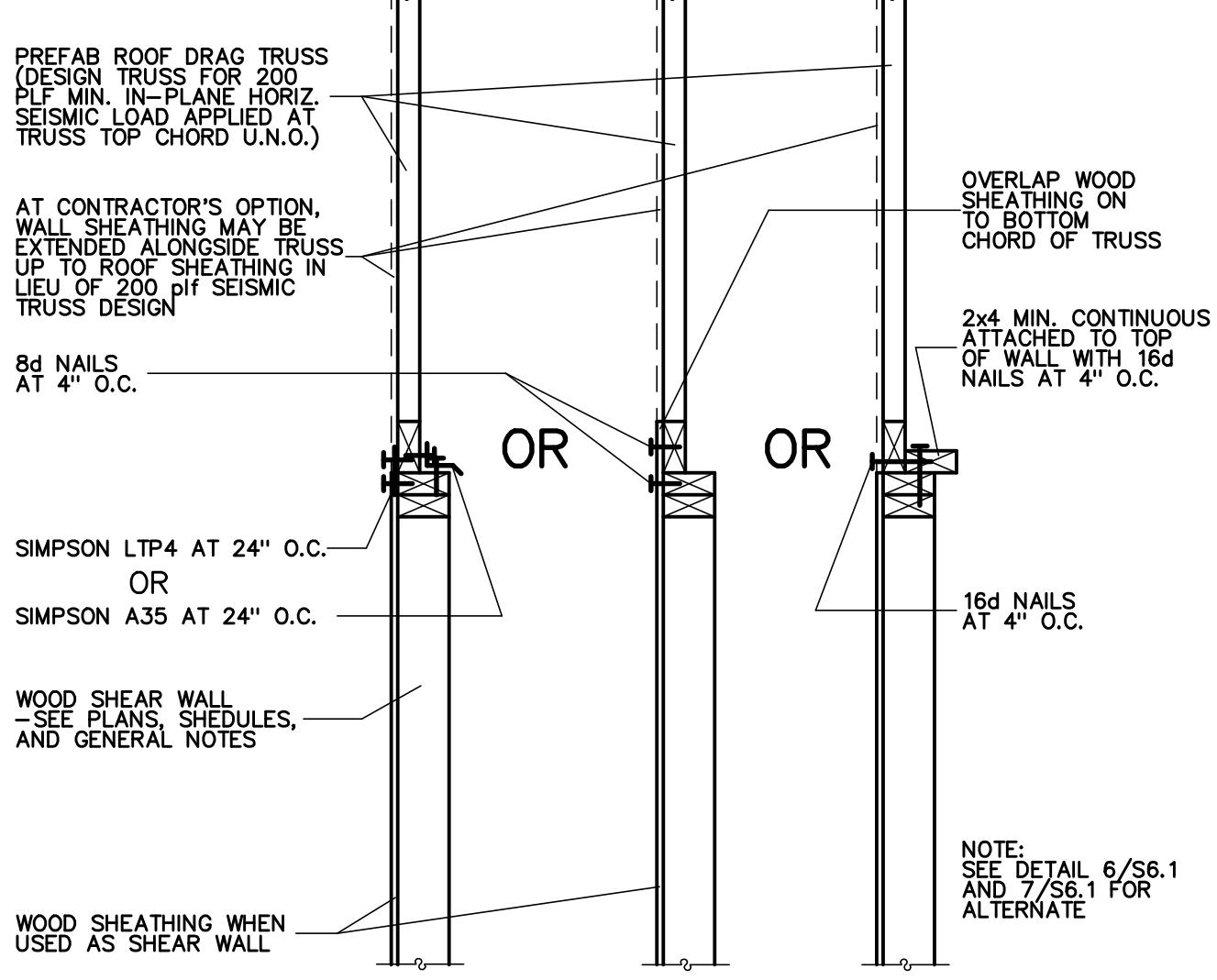
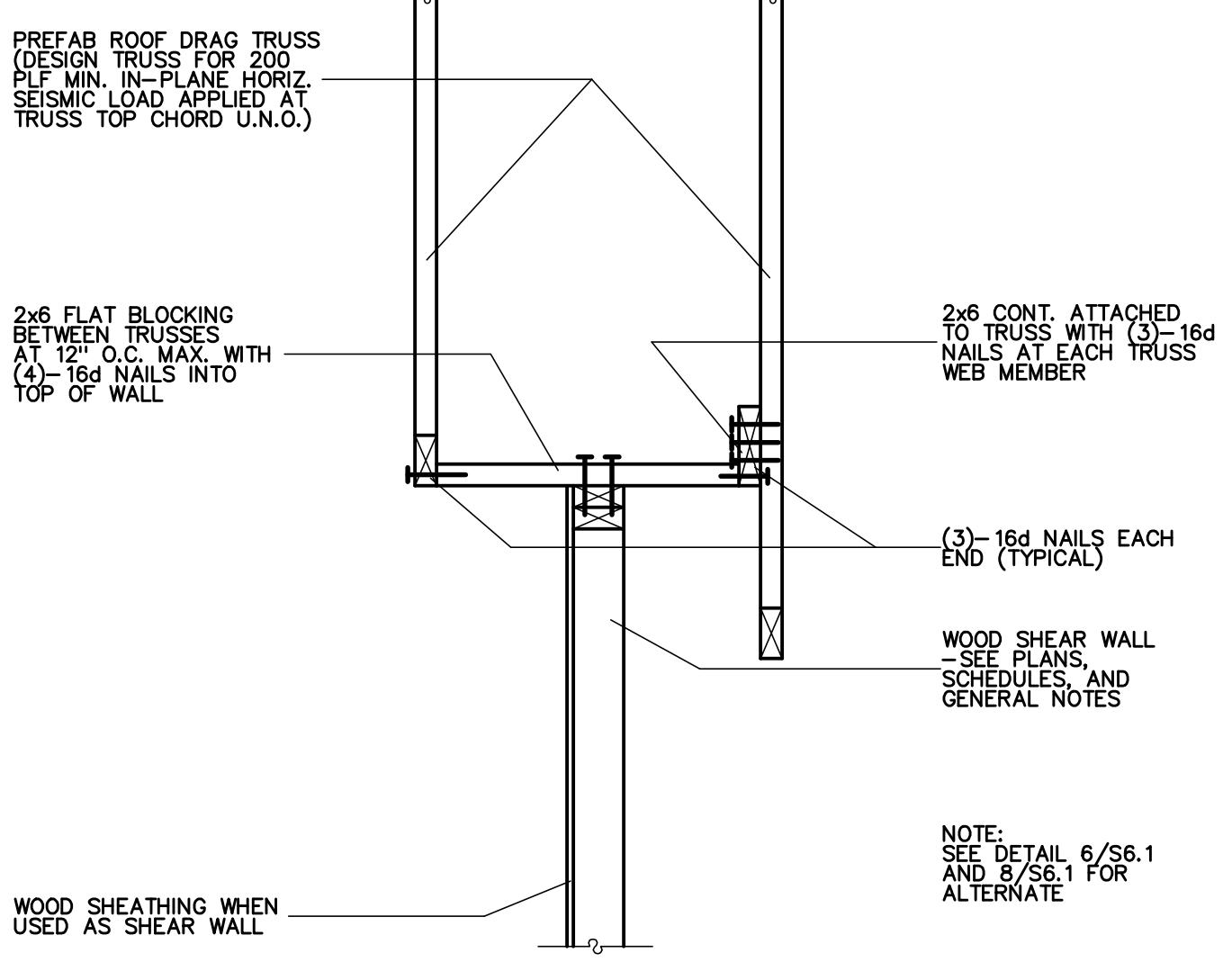
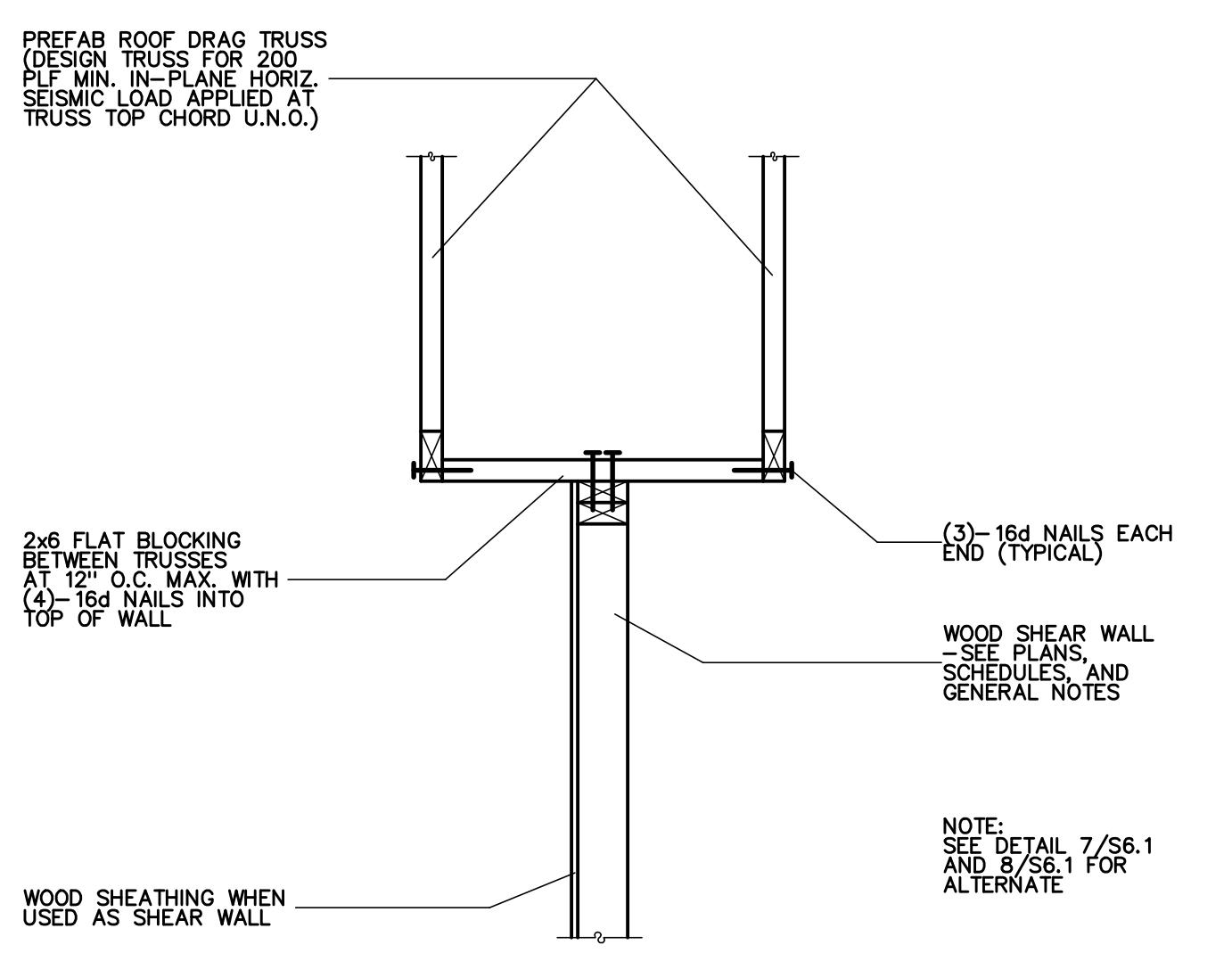
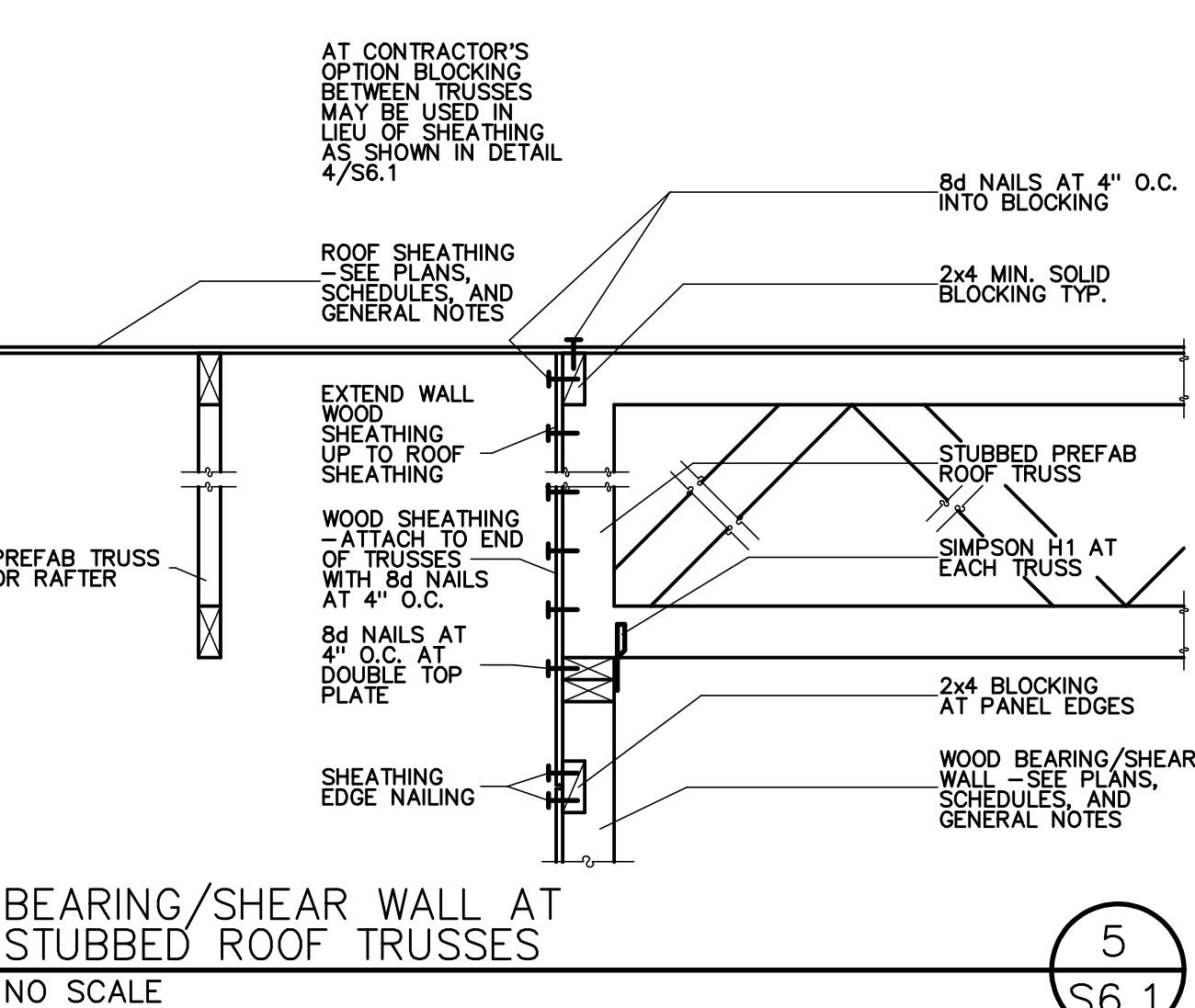
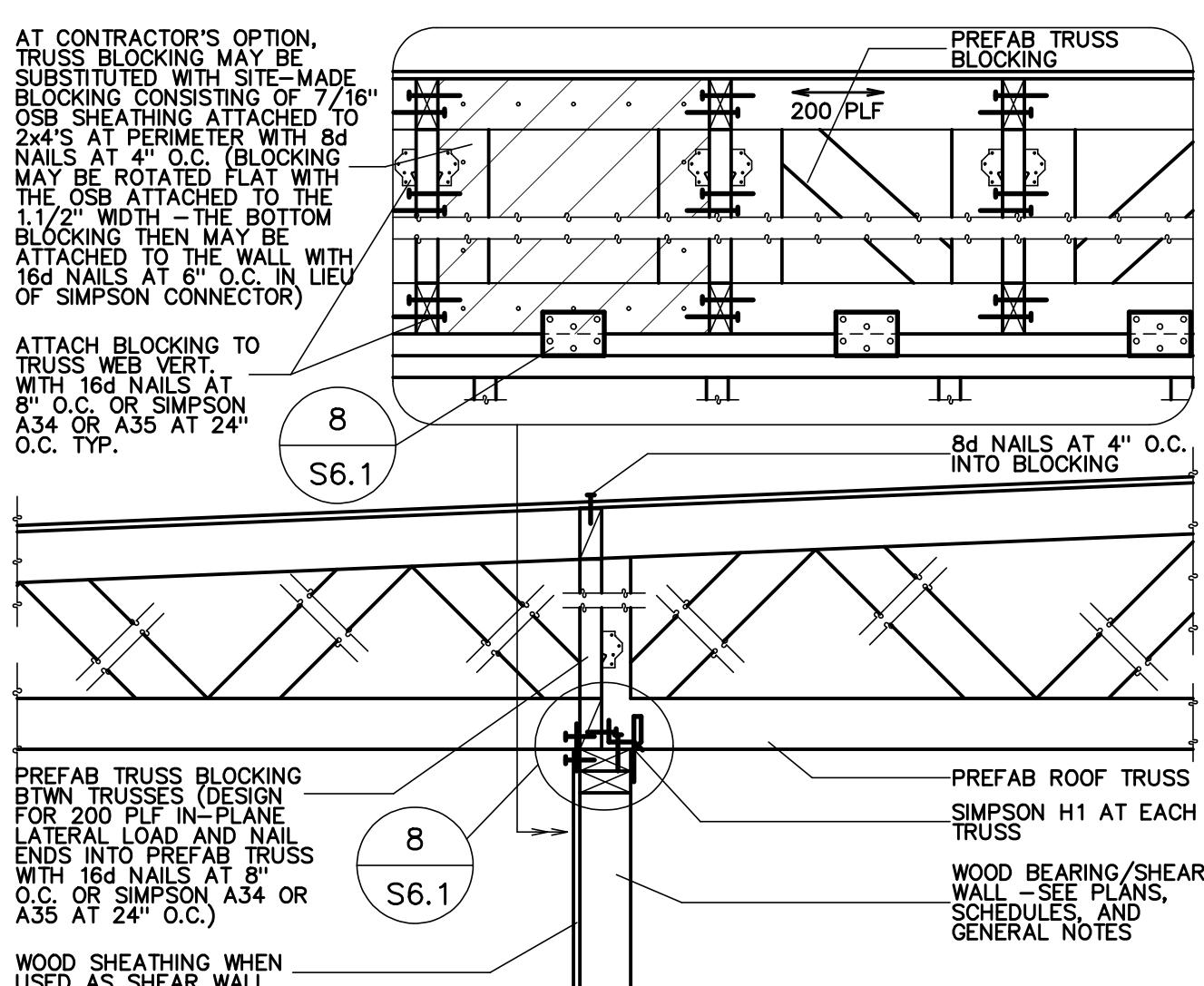
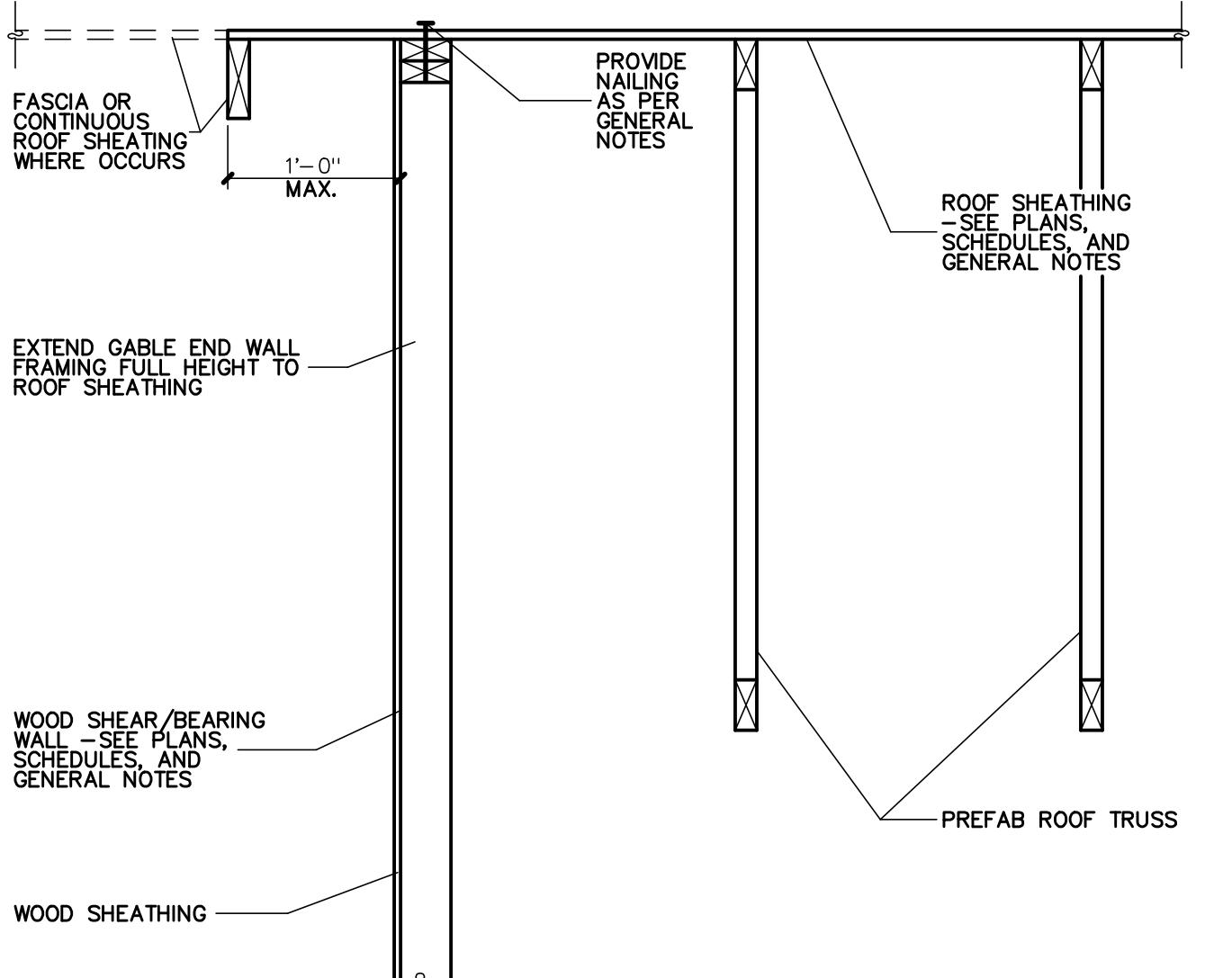
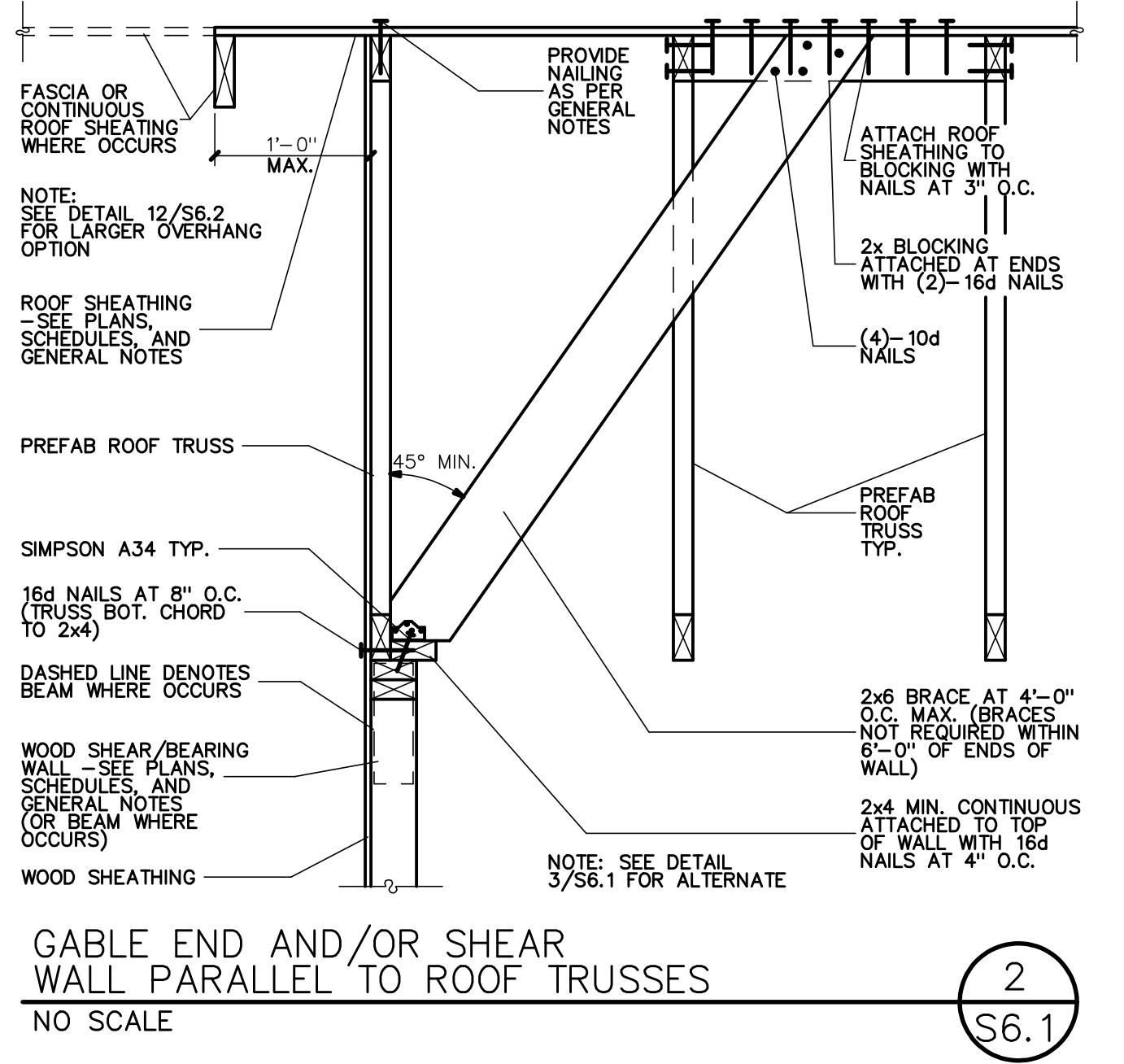
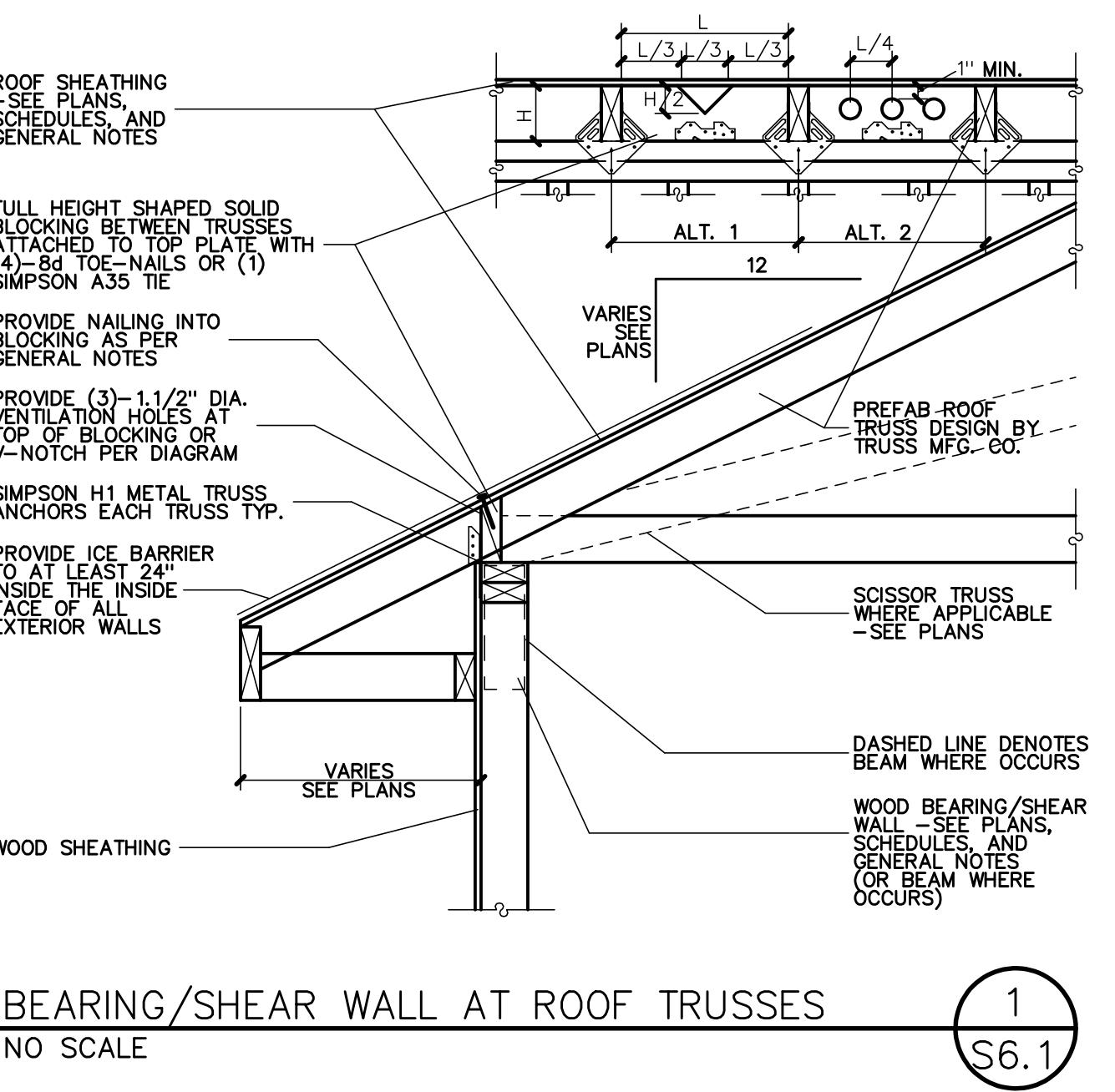
THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED WITH THE ASSUMPTION THAT THE CONTRACTOR IS FAMILIAR WITH THE PRACTICAL METHODS OF CONSTRUCTION. ACCORDINGLY, THESE DRAWINGS AND SPECIFICATIONS DO NOT DESCRIBE THE EXACT CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER AND EFFICIENT CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL NOT RELY ON THESE DRAWINGS AND SPECIFICATIONS FOR THE DESIGN OF THE PROJECT. THE CONTRACTOR DISCOVERS OR SUSPECTS ANY ERRORS, OMISSIONS, OR DESIGNER OF SUCH ERROR, OMISSION OR DEFECT IN WRITING.

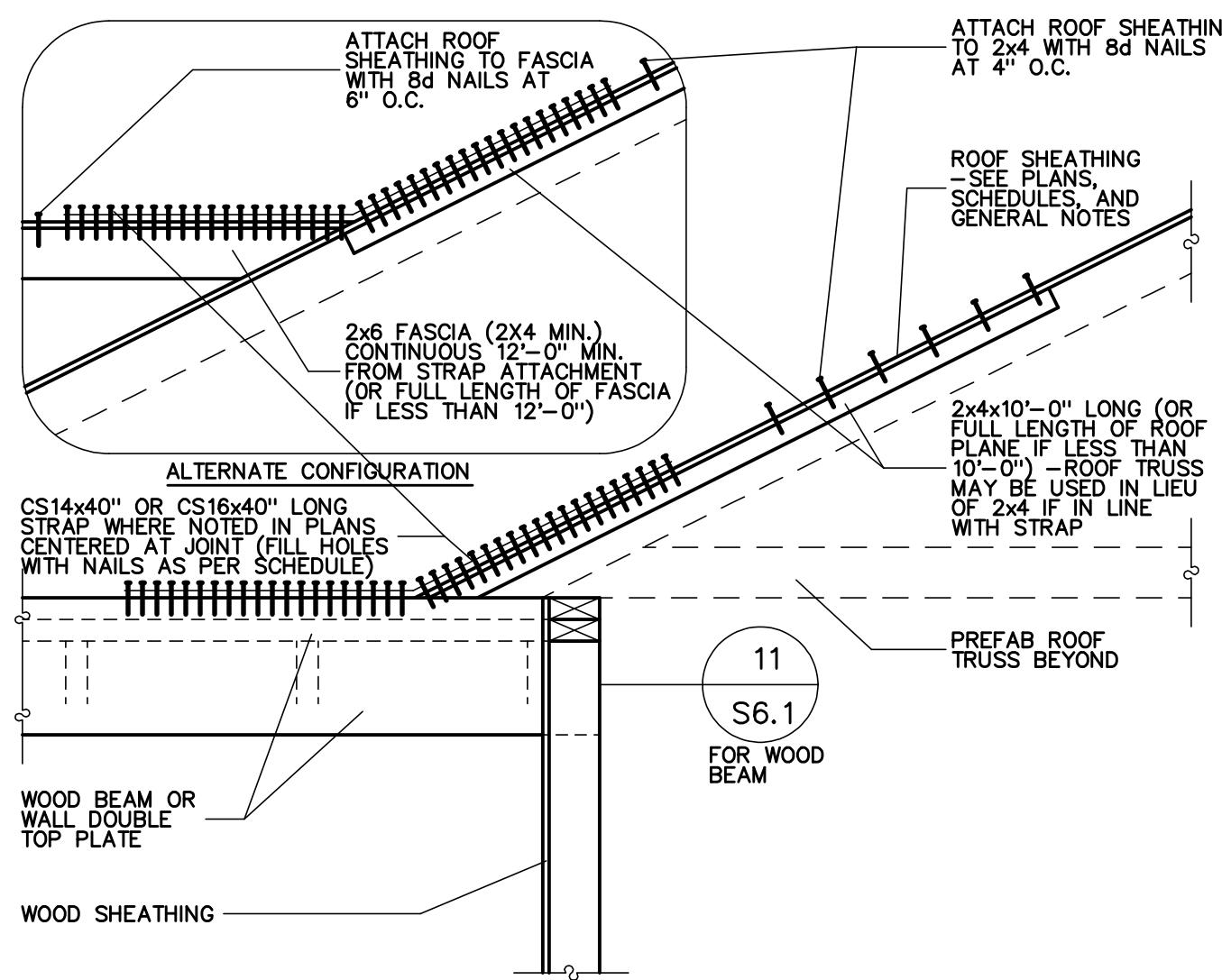
CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS, READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.



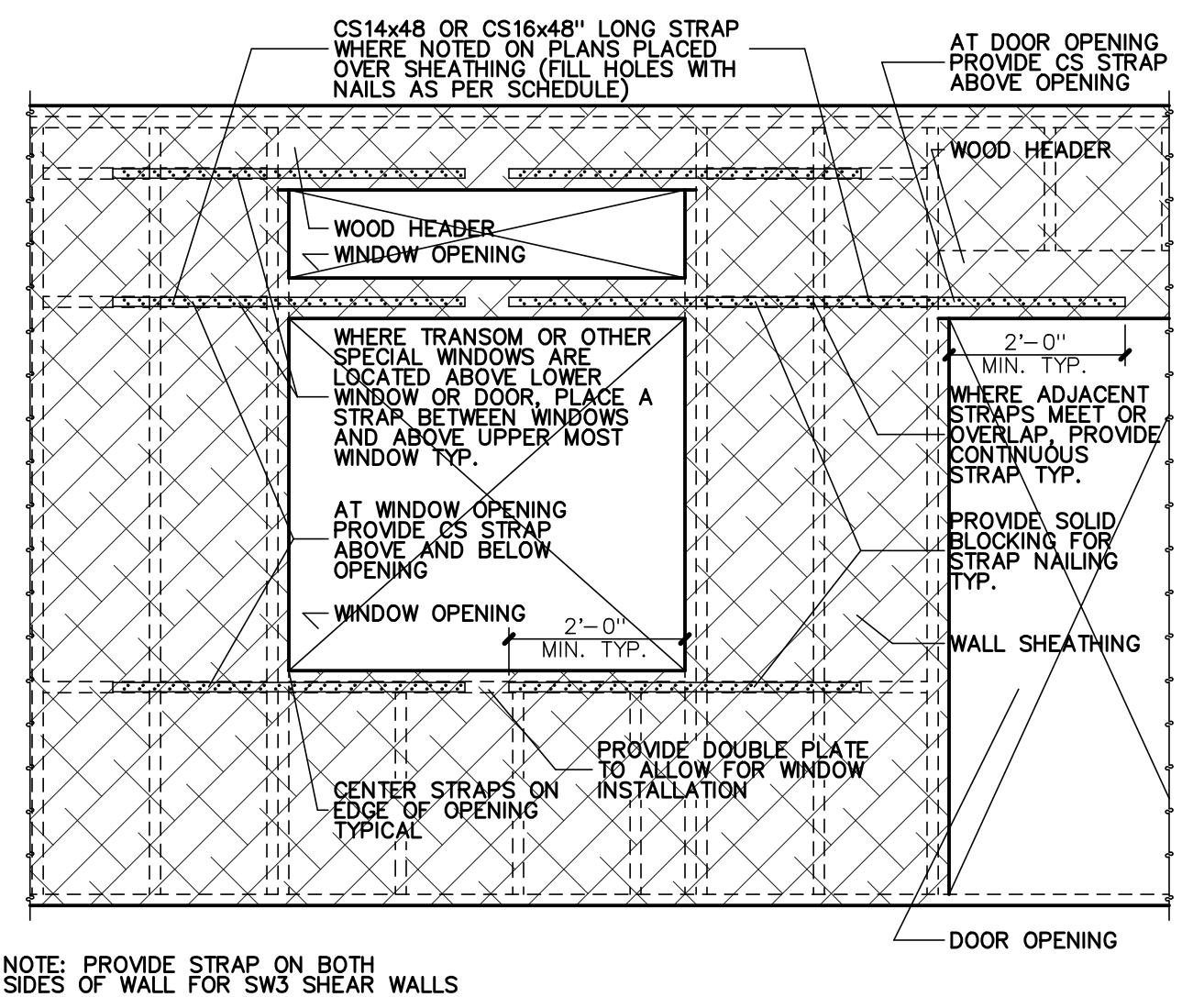


NOTE: ALL DETAILS SHOWN ON THIS SHEET ARE NOT NECESSARILY USED ON THIS JOB -- SEE PLAN SHEETS FOR REFERENCES TO DETAILS

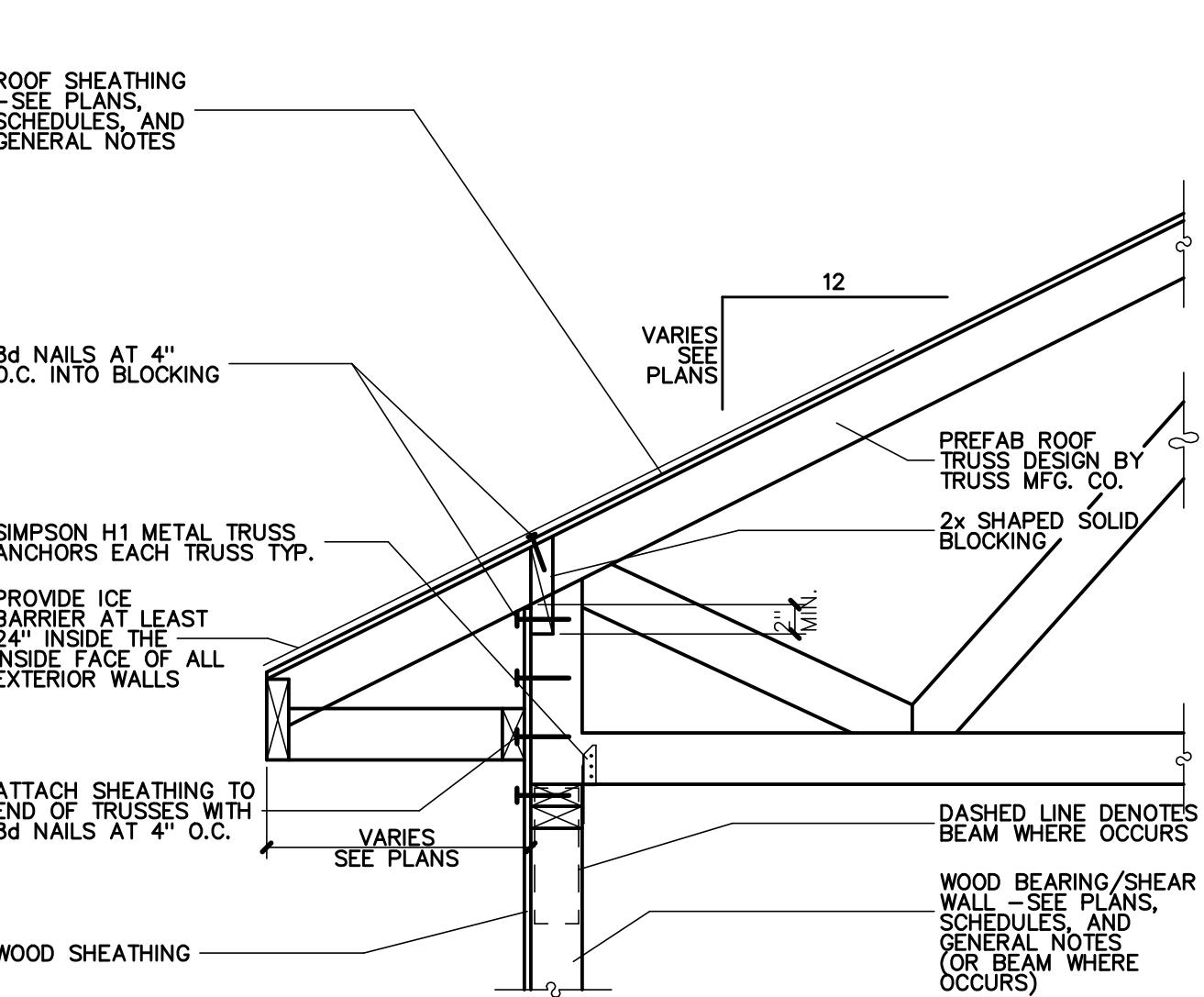




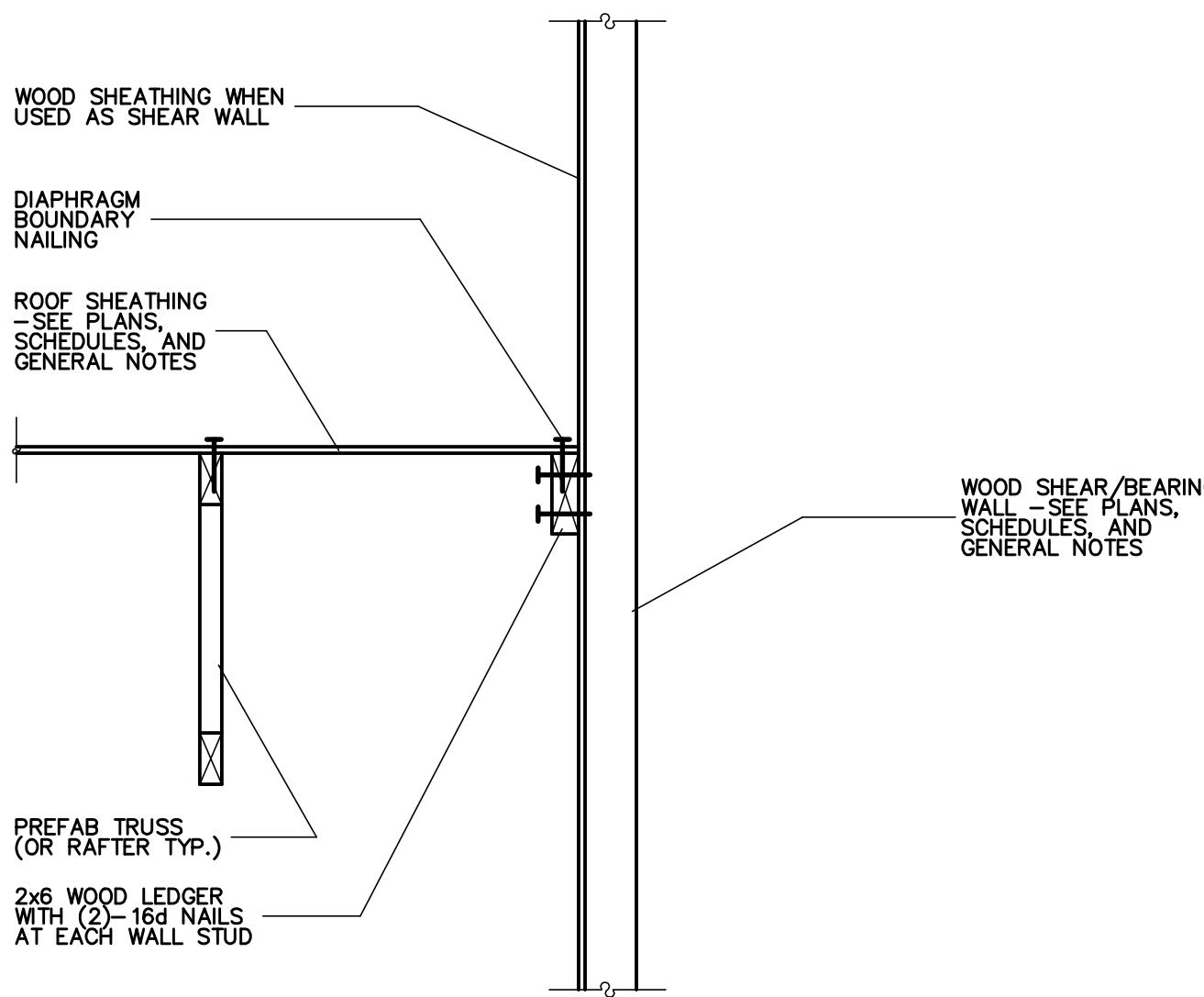
CS16x40 STRAP INSTALLATION
NO SCALE
S6.2



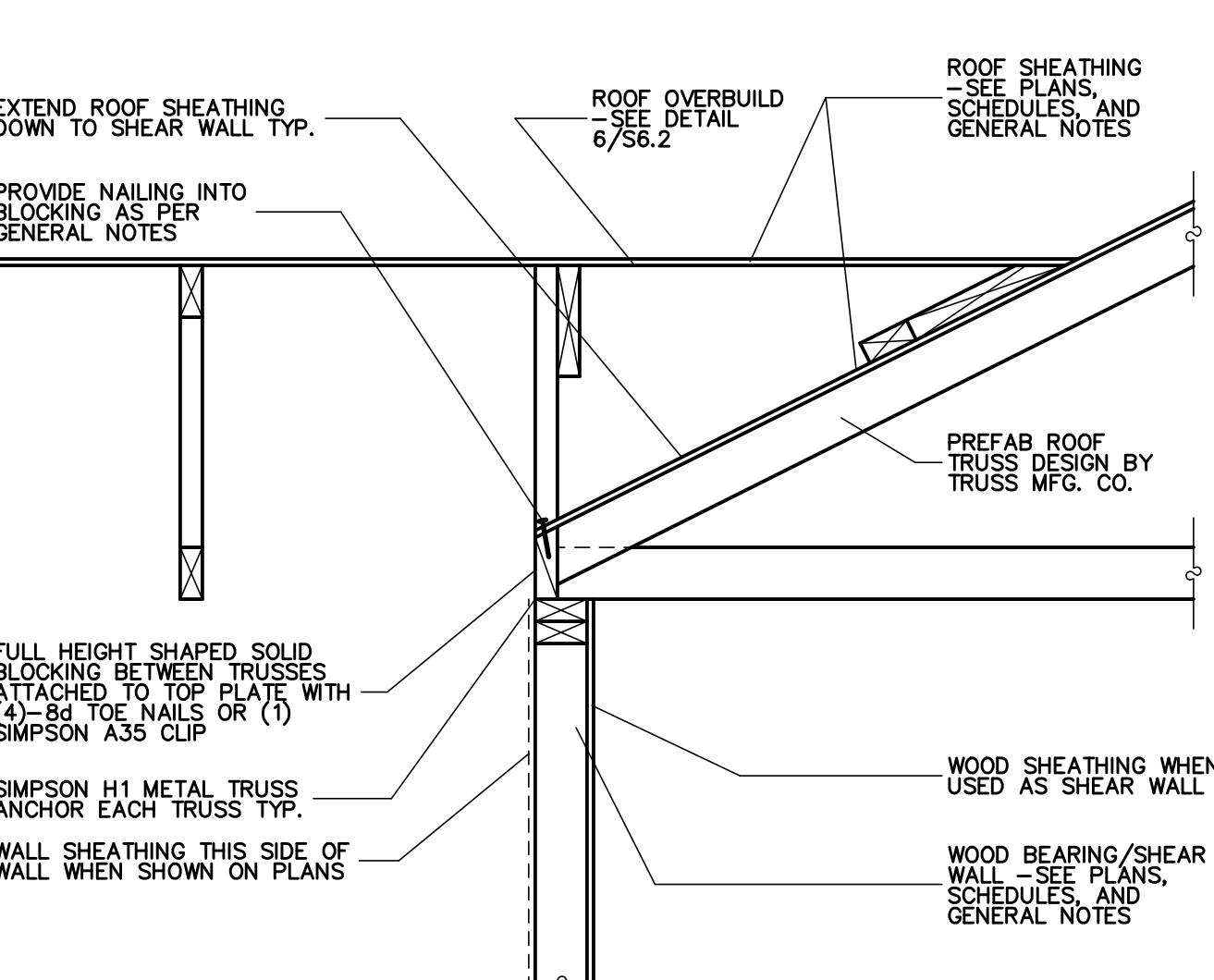
CS16x48 STRAP ATTACHMENT
NO SCALE
S6.2



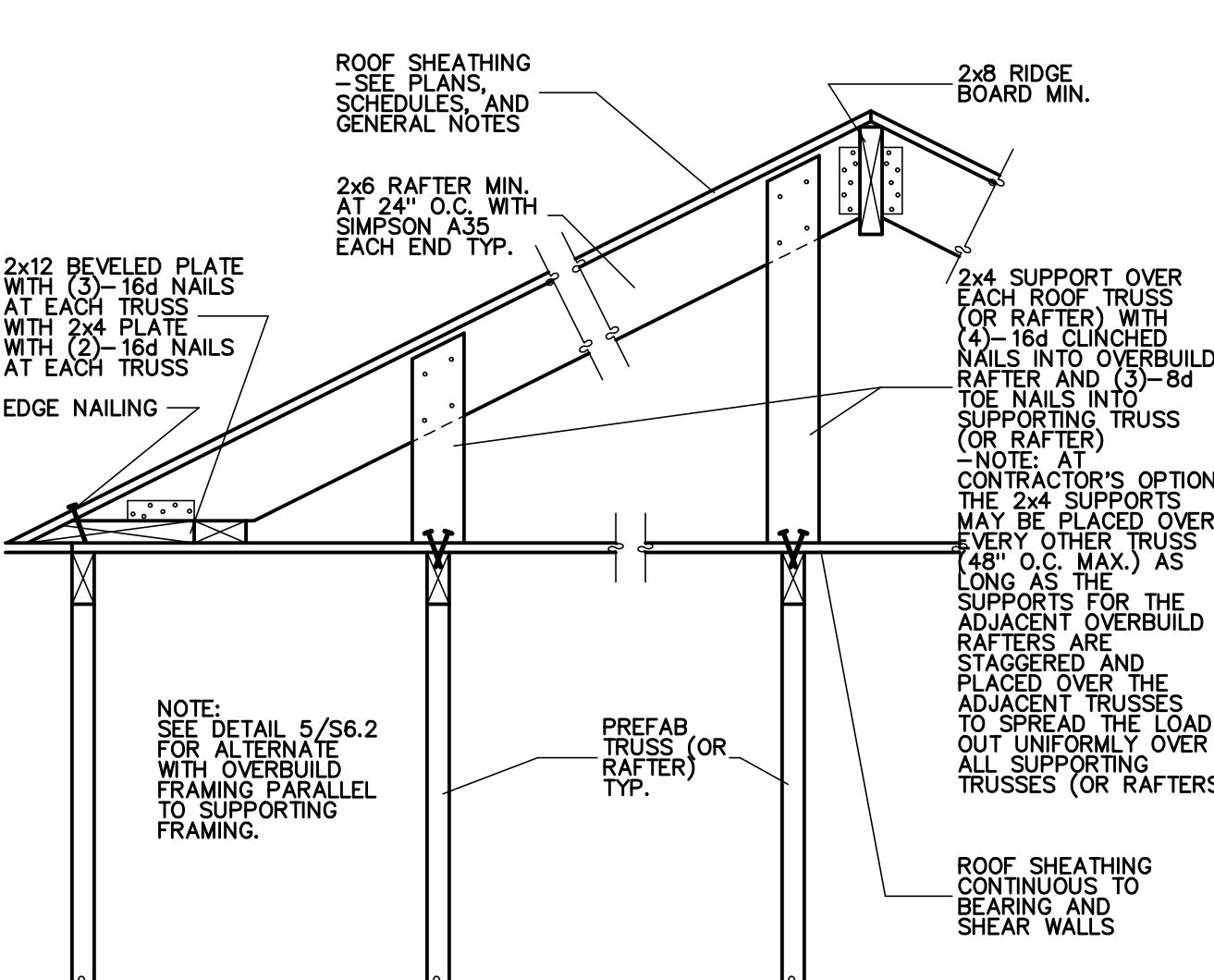
BEARING/SHEAR WALL AT
RAISED-HEEL ROOF TRUSSES
NO SCALE
S6.2



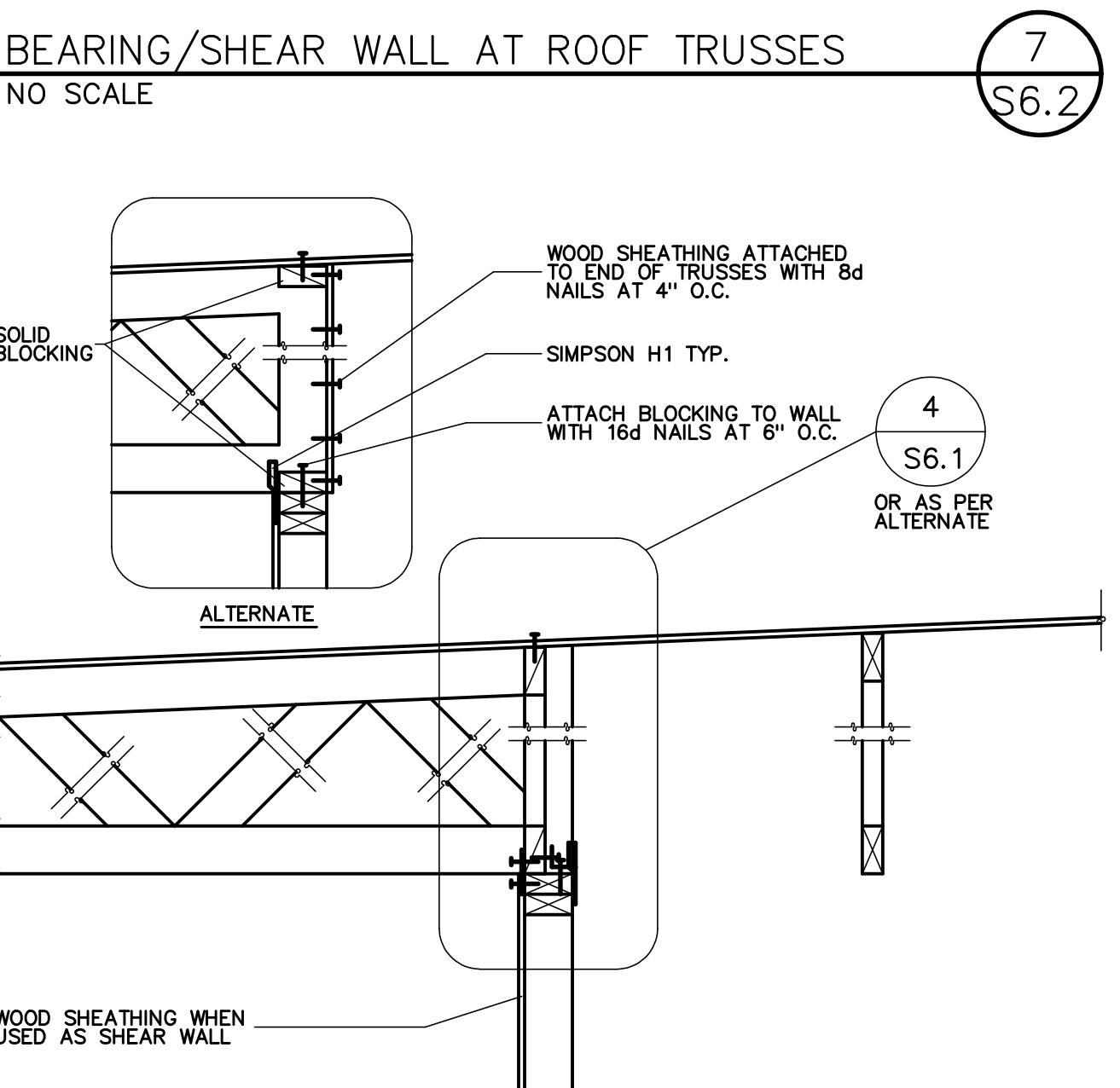
TRUSSES PARALLEL TO BEARING/SHEAR WALL
NO SCALE
S6.2



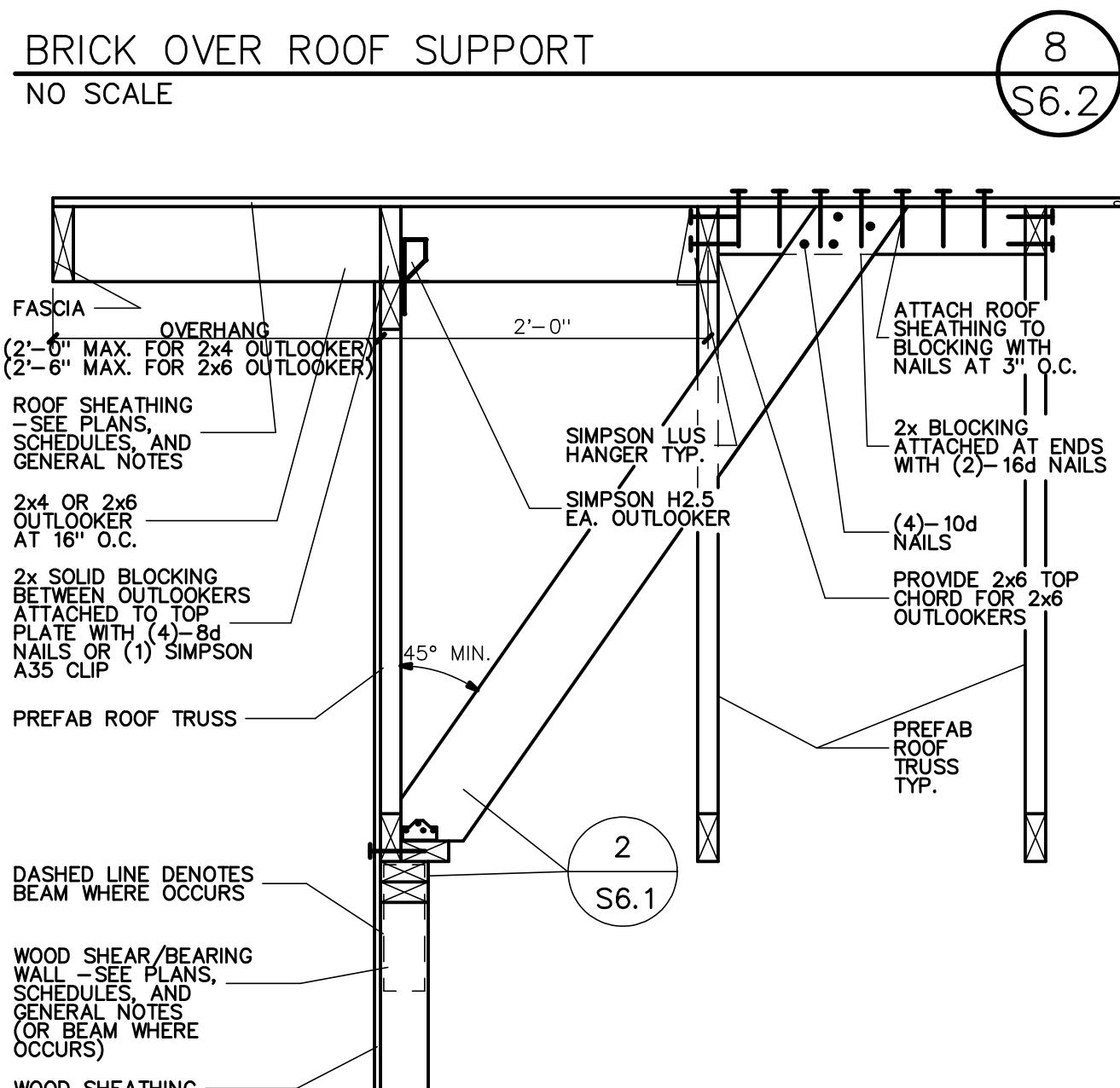
ROOF FRAMING OVERBUILD (OVERBUILD
FRAMING PARALLEL TO SUPPORTING FRAMING)
NO SCALE
S6.2



ROOF FRAMING OVERBUILD
NO SCALE
S6.2



BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE
S6.2



BRICK OVER ROOF SUPPORT
NO SCALE
S6.2



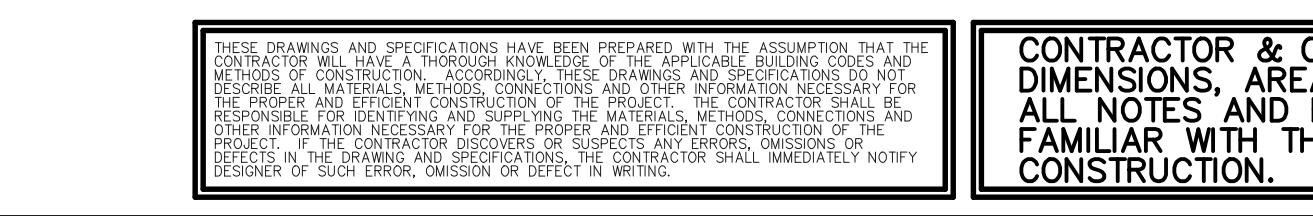
ROOF TRUSS BEARING AT SIDE OF WALL
(UP TO 12'-0" TRUSS SPAN)
NO SCALE
S6.2



TRUSS TO BEARING/SHEAR WALL
NO SCALE
S6.2



BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE
S6.2

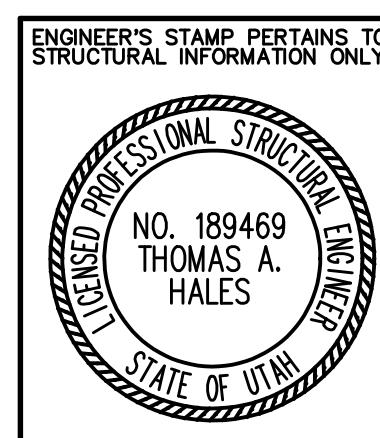


GABLE END WALL WITH
EXTENDED GABLE OVERHANG
NO SCALE
S6.2

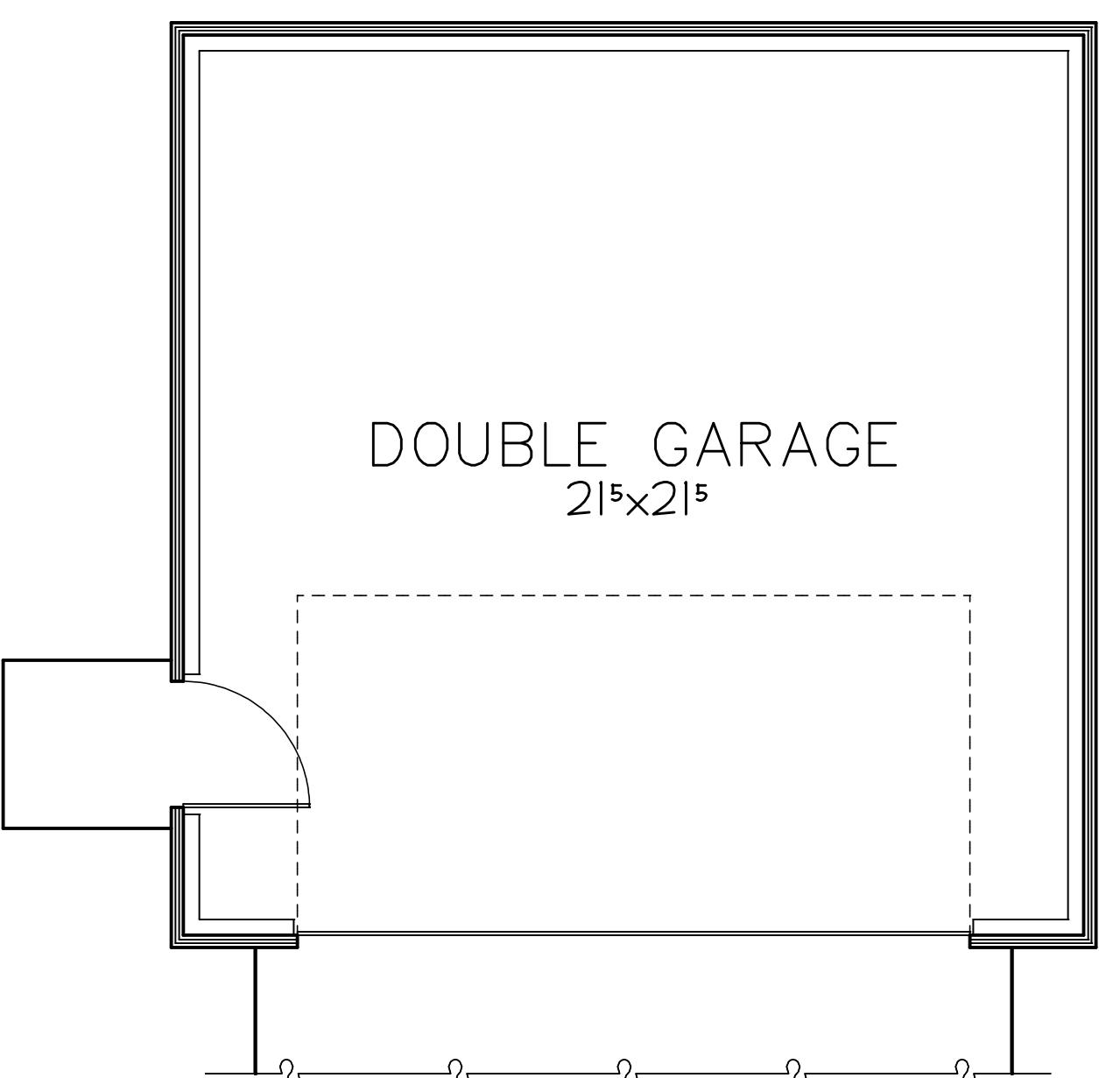
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ENGINEER'S STAMP PERTAINS TO
STRUCTURAL INFORMATION ONLY
NO. 189469
THOMAS A.
HALES
STATE OF UTAH
LICENSURE PROFESSIONAL STRUCTURAL
ENGINEER
SHEET
S6.2
PLOT DATE/TIME: 12/18/2019 11:14 AM



AREA = 484 SQ. FT.

BRICK VENEER STEEL ANGLE LINTEL SCHEDULE

OPENING SIZE	ANGLE SIZE	COMMENTS
0'-0" TO 6'-11"	L3.1/2" x 3.1/2" x 1/4"	
7'-0" TO 8'-11"	L4" x 3.1/2" x 1/4"	
9'-0" TO 9'-11"	L5" x 3.1/2" x 1/4"	
10'-0" TO 18'-0"	L5" x 3.1/2" x 1/4"	CONNECT STEEL ANGLE TO LVL BEAM WITH 1/2" DIA x 3" LAG SCREWS AT 24" O.C.

BRICK VENEER STEEL ANGLE LINTEL NOTES:

- STEEL LINTELS SHALL HAVE A MINIMUM BEARING LENGTH OF ONE FOOT OF OPENING OR 12" WHICHEVER IS GREATER. THEY NEED NOT EXCEED 12'.
- LINTELS ARE DESIGNED TO SUPPORT UNIFORM LOADS CONSISTING ONLY OF WEIGHT OF WALL WITHIN A 60 DEGREE ISOSCELES TRIANGLE AREA ABOVE OPENING.
- STEEL LINTELS SHALL HAVE A LEAD-TEETH.
- ALL ANGLE LINTELS SHALL BE CORROSION RESISTANT.

CONCRETE FOOTING SCHEDULE ^{1,2,3}							
MARK	WIDTH	LENGTH	THICK.	CROSSWISE REINFORCING		LENGTHWISE REINFORCING	
				NO.	SIZE	LENGTH	SPACE
CONTINUOUS FOOTINGS							
FC1.5	1'-6"	CONT.	10"	N/A	N/A	N/A	N/A
FC1.7	1'-8"	CONT.	10"	N/A	N/A	N/A	N/A
FC2.0	2"-0"	CONT.	12"	N/A	N/A	N/A	N/A
FC2.5	2"-6"	CONT.	12"	#4	2"-0"	18"	4
FC3.0	3"-0"	CONT.	12"	#4	2"-6"	18"	5
SQUARE FOOTINGS							
FS2.0	2"-0"	2"-0"	12"	3	#4	1"-6"	9"
FS2.5	2"-6"	2"-6"	12"	4	#4	2"-0"	8"
FS3.0	3"-0"	3"-0"	12"	5	#4	2"-6"	7.5"
FS3.5	3"-6"	3"-6"	12"	5	#4	3"-0"	9"
FS4.0	4"-0"	4"-0"	12"	6	#4	3"-6"	8.4"
FS4.5	4"-6"	4"-6"	12"	7	#4	4"-0"	8"
FS5.0	5"-0"	5"-0"	14"	8	#4	4"-6"	7.7"

BRICK VENEER STEEL ANGLE LINTEL NOTES:

- STEEL LINTELS SHALL HAVE A MINIMUM BEARING LENGTH OF ONE FOOT OF OPENING OR 12" WHICHEVER IS GREATER. THEY NEED NOT EXCEED 12'.
- LINTELS ARE DESIGNED TO SUPPORT UNIFORM LOADS CONSISTING ONLY OF WEIGHT OF WALL WITHIN A 60 DEGREE ISOSCELES TRIANGLE AREA ABOVE OPENING.
- STEEL LINTELS SHALL HAVE A LEAD-TEETH.
- ALL ANGLE LINTELS SHALL BE CORROSION RESISTANT.

- PLACE ALL FOOTING REINFORCING IN BOTTOM OF FOOTING WITH 1/2" CLEAR CONCRETE COVER UNLESS NOTED OTHERWISE.
- STRAP MAY REQUIRE BEING INSTALLED PRIOR TO INSTALLATION OF WALL SHEATHING, AND/OR ADJACENT FRAMING, AND/OR SETTING TRUSSES. COORDINATE AS NECESSARY.
- FC - CONTINUOUS FOOTING; FS - SQUARE FOOTING

METAL HOLDOWN SCHEDULE ¹			
MARK	SIMPSON HOLDOWN	ATTACHMENT	COMMENTS
LSTD8 OR LSTD10R	LSTD8 OR LSTD10R (RIM JOIST)	(20)-16d SINKER NAILS	STHD10, STHD14, HT4, OR HDU4 MAY BE USED IN LIEU OF LSTD8
STD14 OR ² STD14RJ	STD14 OR ² STD14RJ (RIM JOIST)	(28)-16d SINKER NAILS	STHD14, HT4, OR HDU4 MAY BE USED IN LIEU OF STD10
HT4	HT4	ALL-THREAD RD EPOXIED 8" MIN. INTO TOP OF FDTN.	SEE DETAIL 3/S3.1 FOR EPOXY ATTACHMENT
HDU4	HDU4-SDS2.5	ALL-THREAD RD EPOXIED 6" MIN. INTO TOP OF FDTN.	SEE DETAIL 3/S3.1 FOR EPOXY ATTACHMENT
HDU5	HDU5-SDS2.5	ALL-THREAD RD EPOXIED 7" MIN. INTO TOP OF FDTN.	SEE DETAIL 3/S3.1 FOR EPOXY ATTACHMENT
HDQ8	HDQ8-SDS3	ALL-THREAD RD EPOXIED 11" MIN. INTO TOP OF FDTN.	SEE DETAIL 3/S3.1 FOR EPOXY ATTACHMENT

METAL HOLDOWN NOTES:

- ALL HOLDOWNS SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. SEE DETAIL 3/S3.1
- USE RIM JOIST MODEL OF STRAP IF STRAP IS LOCATED AT A RIM JOIST, OTHERWISE, A NON-RIM JOIST MODEL MAY BE USED.

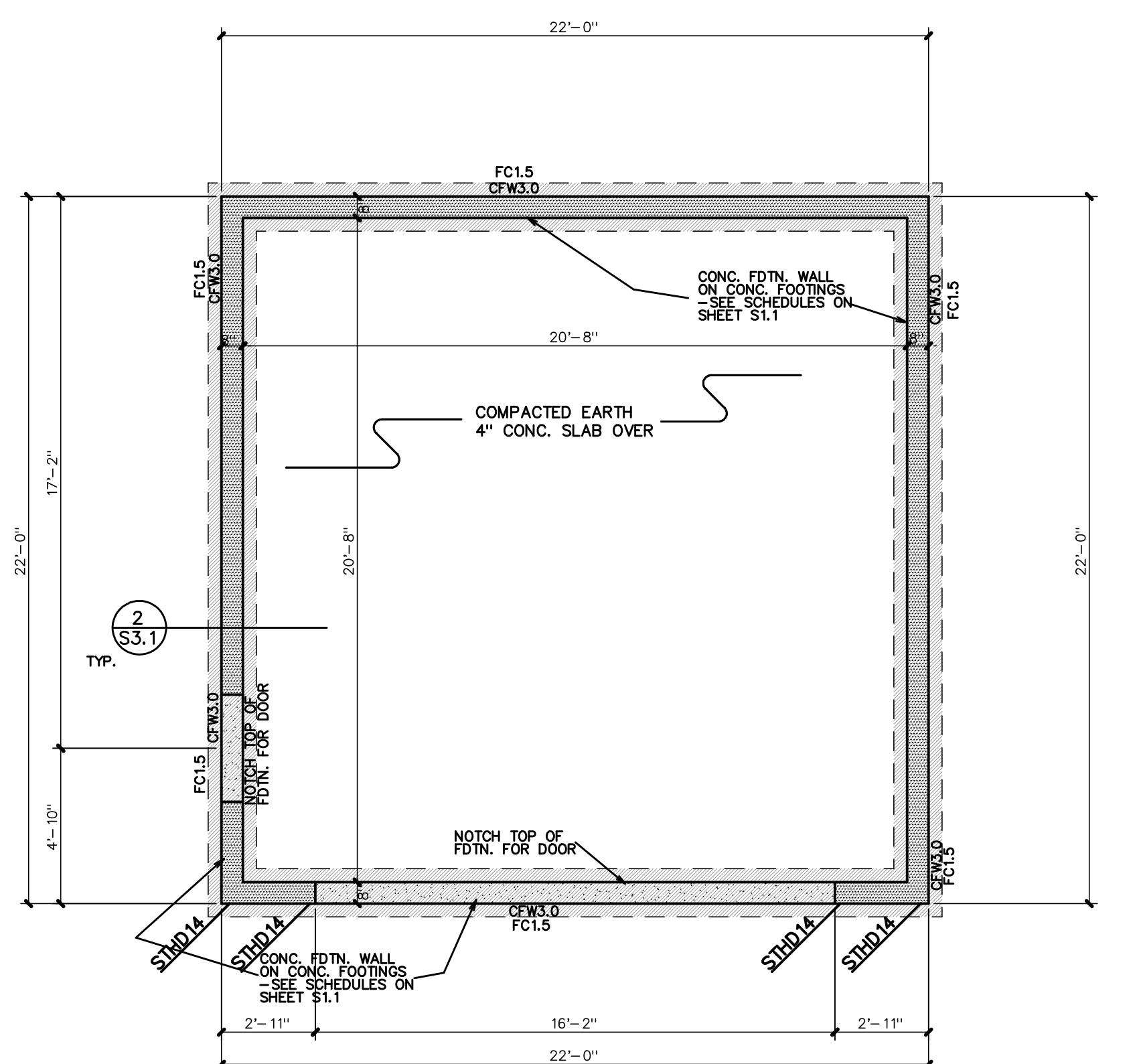
CONCRETE FOUNDATION WALL SCHEDULE					
MARK	WIDTH ³	MAX. HEIGHT ^{4,5}	VERTICAL ⁶	HORIZONTAL ^{1,3}	COMMENTS
CFW2.0NR	8" MIN.	MEET MIN. FROST DEPTH	#4 AT 18" O.C.	#4 AT 12" O.C.	SEE DETAIL 2/S3.1
CFW4.0	8" MIN.	MEET MIN. FROST DEPTH	#4 AT 24" O.C.	#4 AT 12" O.C.	SEE DETAIL 2/S3.1
CFW4.0	8" MIN.	4"-0"	#4 AT 24" O.C.	#4 AT 15" O.C.	
CFW6.0	8" MIN.	6"-0"	#4 AT 24" O.C.	#4 AT 18" O.C.	
CFW8.0	8" MIN.	8"-0"	#4 AT 24" O.C.	#4 AT 19" O.C.	
CFW9.0	8" MIN.	9"-0"	#4 AT 16" O.C.	#4 AT 18" O.C.	
CFW10.0	8" MIN.	10"-0"	#4 AT 9" O.C.	#4 AT 12" O.C.	

CONCRETE FOUNDATION WALL NOTES:

- LOCATION OF HORIZONTAL BAR, WITHIN 4" OF TOP AND BOTTOM OF WALL.
- WALL HEIGHT MAY BE INCREASED AS NEEDED WHERE FOOTINGS NEED TO BE DROPPED FOR FROST PROTECTION OR SOIL CONDITIONS AS LONG AS UNBALANCED WALL HEIGHT (HEIGHT BETWEEN LOW AND HIGH Grade) DOES NOT EXCEED 12 INCHES.
- UNLESS NOTED, THE PLACEMENT OF REINFORCING SHALL BE IN THE CENTER OF THE WALL THICKNESS.
- PROVIDE NOTCHES AND DROPS IN TOPS OF FOUNDATION AS NOTED ON PLANS AND WHERE REQUIRED FOR DOOR AND WINDOW OPENINGS.
- SEE DRAWINGS FOR ACTUAL HEIGHT.
- PROVIDE VERTICAL REBAR DOWELS TO MATCH VERTICAL WALL REBAR SIZE AND SPACING TO FIT FDTN. WALL.
- SEE SUBMERGED OR SATURATED IN GROUND WATER.
- SEE PLAN FOR ACTUAL WALL WIDTH.

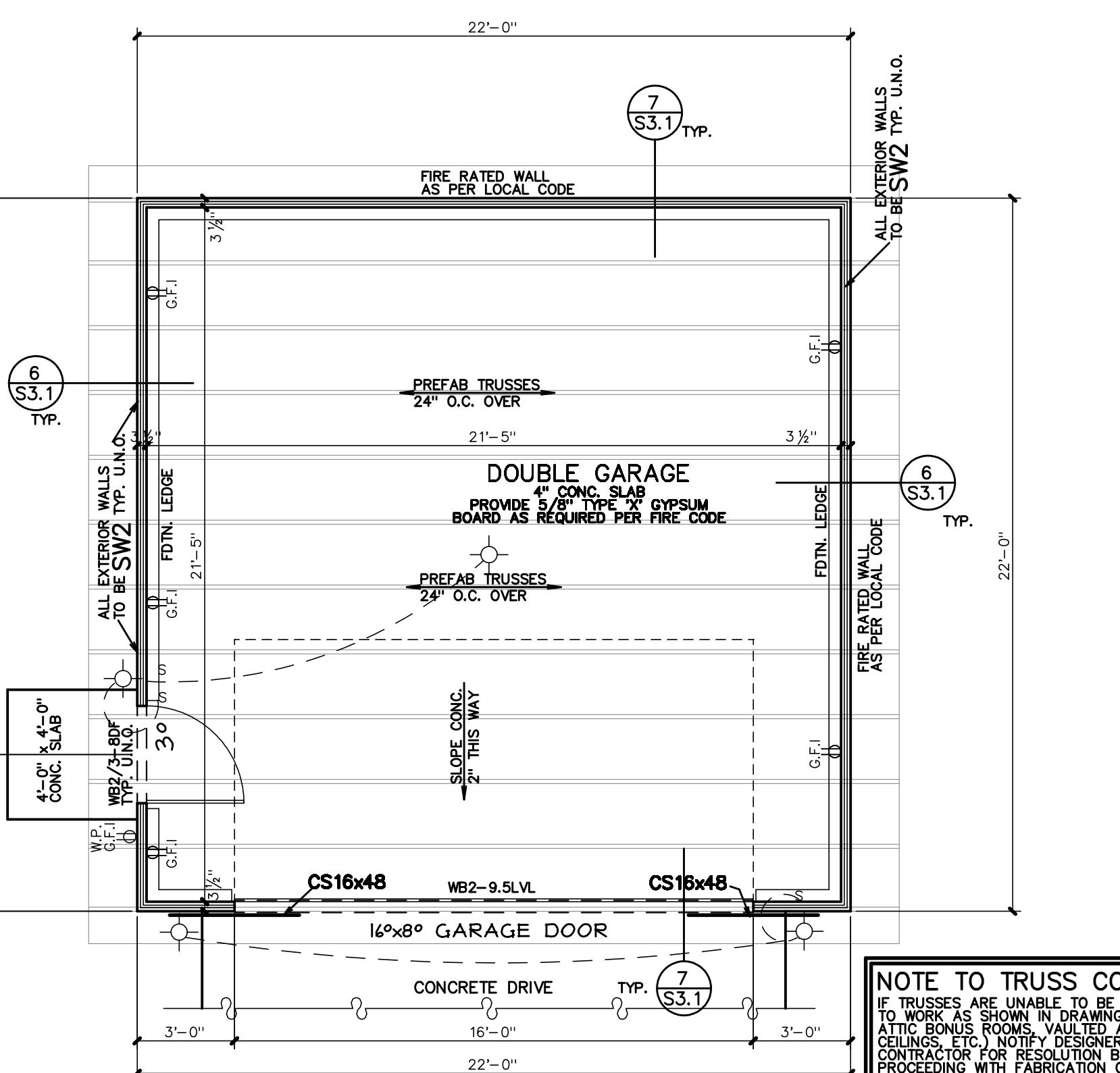
WOOD BEAM/HEADER SCHEDULE^{4,6}

MARK ¹	SIZE ^{2,3}	COMMENT	MARK ¹	SIZE ^{2,3}	COMMENTS
WB2/3-8DF ⁴	(2)-2x8 FOR 2x4 WALLS (3)-2x8 FOR 2x6 WALLS	USE FOR BEAM/HEADER SPANS UP TO 5"-2" THAT ARE NOT NOTED OTHERWISE IN BASEMENTS, WITH CEILING HEIGHTS GREATER THAN 7'-10" (FOR CEILING HEIGHTS GREATER THAN 7'-10" USE WB2/3-10DF) - SEE NOTE 4 BELOW	WB2-5.5LVL	(2)-1.3/4"x5.1/2" LVL	
WB2/3-10DF	(2)-2x10 FOR 2x4 WALLS (3)-2x10 FOR 2x6 WALLS	USE FOR BEAM/HEADER SPANS UP TO 5"-2" THAT ARE NOT NOTED OTHERWISE - SEE NOTE 4 BELOW	WB2-7.25LVL	(2)-1.3/4"x7.1/4" LVL	
WB2-5.5LVL			WB2-9.5LVL	(2)-1.3/4"x9.1/2" LVL	
WB2-11.88LVL			WB2-14LVL	(2)-1.3/4"x14" LVL	
WB2-18LVL			WB2-16LVL	(2)-1.3/4"x16" LVL	
WB2-21.5LVL			WB2-18LVL	(2)-1.3/4"x18" LVL	
WB2-24LVL			WB2-26LVL	(2)-1.3/4"x26" LVL	
WB2-30LVL			WB2-32LVL	(2)-1.3/4"x32" LVL	
WB2-36LVL			WB2-40LVL	(2)-1.3/4"x40" LVL	
WB2-44LVL			WB2-48LVL	(2)-1.3/4"x48" LVL	
WB2-52LVL			WB2-56LVL	(2)-1.3/4"x56" LVL	
WB2-60LVL			WB2-64LVL	(2)-1.3/4"x64" LVL	
WB2-68LVL			WB2-72LVL	(2)-1.3/4"x72" LVL	
WB2-76LVL			WB2-80LVL	(2)-1.3/4"x80" LVL	
WB2-84LVL			WB2-88LVL	(2)-1.3/4"x88" LVL	
WB2-92LVL			WB2-96LVL	(2)-1.3/4"x96" LVL	
WB2-100LVL			WB2-104LVL	(2)-1.3/4"x104" LVL	
WB2-108LVL			WB2-112LVL	(2)-1.3/4"x112" LVL	
WB2-116LVL			WB2-120LVL	(2)-1.3/4"x120" LVL	
WB2-124LVL			WB2-128LVL	(2)-1.3/4"x128" LVL	
WB2-132LVL			WB2-136LVL	(2)-1.3/4"x136" LVL	
WB2-140LVL			WB2-144LVL	(2)-1.3/4"x144" LVL	
WB2-148LVL			WB2-152LVL	(2)-1.3/4"x152" LVL	
WB2-156LVL			WB2-160LVL	(2)-1.3/4"x160" LVL	
WB2-164LVL			WB2-168LVL	(2)-1.3/4"x168" LVL	
WB2-172LVL			WB2-176LVL	(2)-1.3/4"x176" LVL	
WB2-180LVL			WB2-184LVL	(2)-1.3/4"x184" LVL	
WB2-188LVL			WB2-192LVL	(2)-1.3/4"x192" LVL	
WB2-196LVL			WB2-200LVL	(2)-1.3/4"x200" LVL	
WB2-204LVL			WB2-208LVL	(2)-1.3/4"x208" LVL	
WB2-212LVL			WB2-216LVL	(2)-1.3/4"x216" LVL	
WB2-220LVL			WB2-224LVL	(2)-1.3/4"x224" LVL	
WB2-228LVL			WB2-232LVL	(2)-1.3/4"x232" LVL	
WB2-236LVL			WB2-240LVL	(2)-1.3/4"x240" LVL	
WB2-244LVL			WB2-248LVL	(2)-1.3/4"x248" LVL	
WB2-252LVL			WB2-256LVL	(2)-1.3/4"x256" LVL	
WB2-260LVL					



FOUNDATION PLAN

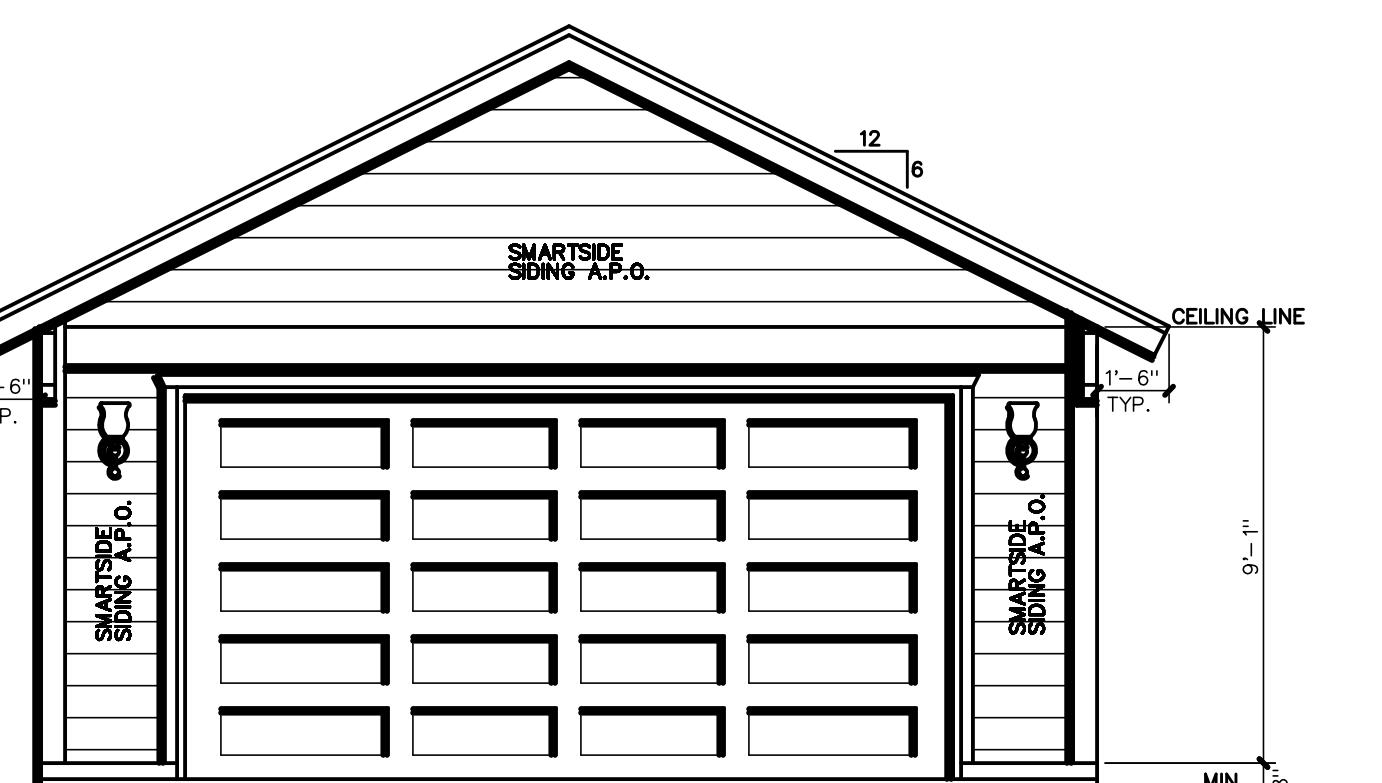
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MAIN FLOOR PLAN

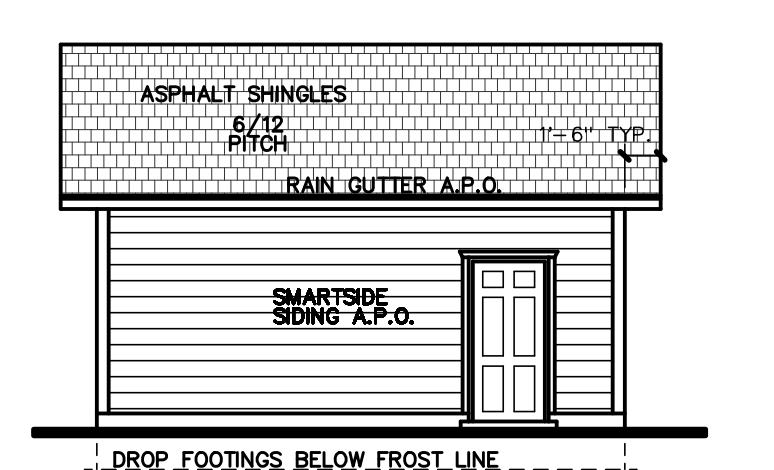
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GARAGE AREA = 484 SQ. FT.



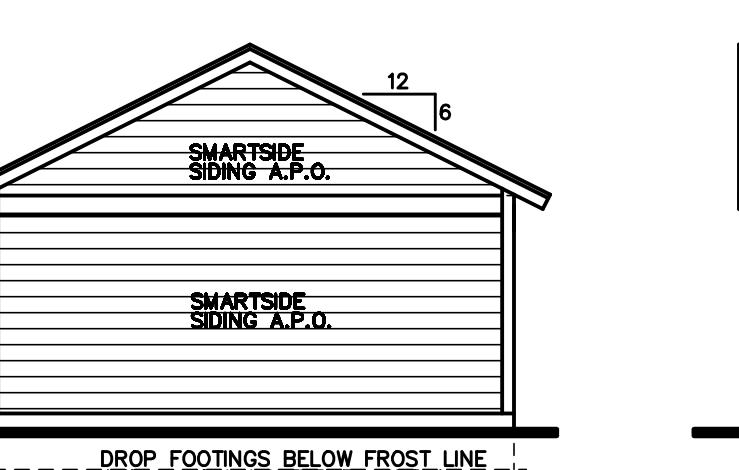
FRONT ELEVATION

SCALE: 1/4"=1'-0"



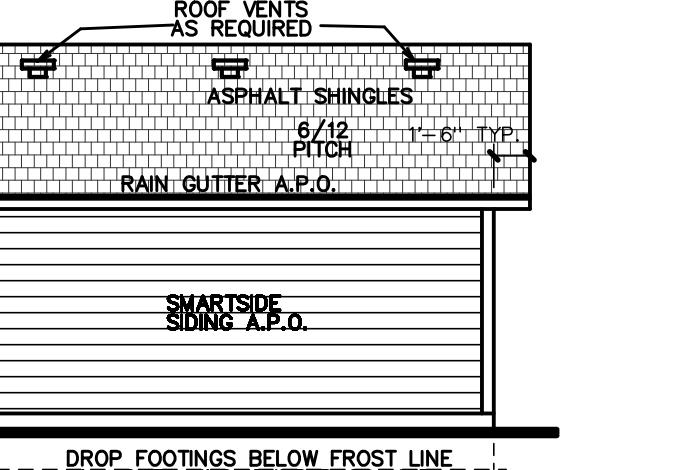
LEFT ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

SCALE: 1/8"=1'-0"

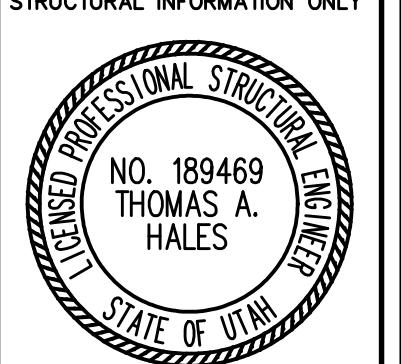
NOTES TO FOUNDATION PLAN:

- SEE GENERAL NOTES, SCHEDULES, AND DETAILS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS. THIS PLAN IS TO BE WORKED ALONG WITH THESE OTHER SUPPORTING SHEETS. THE OWNER AND CONTRACTOR SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- WALLS: 2x4 WALLS ARE SHOWN WITH A 3 1/2" THICKNESS AND 2x6 WALLS ARE SHOWN WITH A 5 1/2" THICKNESS. ALL BEARING, SHEAR, AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING CONCRETE FOUNDATION WALLS SHALL BE A FC2.0.
- FOOTINGS: SEE THE GENERAL NOTES, THE CONCRETE FOOTING SCHEDULE, AND THE DETAILS ON SHEET S3.1 FOR ADDITIONAL INFORMATION. FOOTINGS SUPPORTING CONCRETE FOUNDATION WALLS SHALL BE SW1.0. FOOTINGS UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING EXTERIOR AND BEARING WALLS SHALL BE A FC1.5 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING A COV. PATIO DECK POST SHALL BE A FS3.0 FOOTING UNLESS NOTED OTHERWISE. SEE DETAIL 1/S3.1 FOR FOOTING CORNERS AND INTERSECTIONS.
- FOUNDATION WALLS: SEE THE GENERAL NOTES, THE CONCRETE FOUNDATION WALL SCHEDULE, AND THE DETAILS ON SHEET S3.1 FOR ADDITIONAL INFORMATION. REINFORCING SHALL BE BASED ON THE FOUNDATION WALL HEIGHT AS DESCRIBED ON THE FOUNDATION WALL SCHEDULE. EXTERIOR AND BEARING WALLS WITH HEIGHTS (HEIGHT BETWEEN LOW AND HIGH GRADE) GREATER THAN THAT SHOWN IN THE SCHEDULE, SEE DETAIL 1/S3.1 FOR FOUNDATION WALL CORNERS AND INTERSECTIONS. FOUNDATION WALLS SHALL NOT BACKFILLED UNTIL A LOW GRADE IS PROVIDED TO PROVIDE ADEQUATE BRACING. SOIL USED FOR BACKFILL SHALL CONFORM TO THAT SPECIFIED IN THE CONCRETE FOUNDATION WALL SCHEDULE.
- ANCHOR BOLTS: SEE THE GENERAL NOTES AND SHEAR WALL SCHEDULE ON SHEET S1.1 FOR FOUNDATION ANCHOR BOLT REQUIREMENTS.
- SHAFAR WALLS: SEE THE SHAFAR WALL SCHEDULE FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS SHALL BE A SW1 TYPE SHEAR WALL UNLESS NOTED OTHERWISE. TO HELP DESIGN A SEISMIC SHEAR WALL, SHEAR WALLS SHALL BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEET S3.1, U.N.O. WALLS NOTED AS 'BRACED WALLS' SHALL BE A SW1 SHEAR WALL TYPE.
- BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL CONSIST OF FULL HEIGHT STUD FRAMING AND BE ATTACHED AT THE TOP AND BOTTOM AS NOTED. METHODS SHOWN IN THE DETAILS ON SHEET S3.1, U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE DRAWING, SEE THE WOOD BEAM HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. TO HELP DESIGN A SHEAR HEADER, SEE THE WOOD BEAM/HEADER SCHEDULE FOR SPANS UP TO 5'-2" THAT ARE NOTED OTHERWISE ON THE PLANS.
- WOOD POSTS: ALL WOOD POSTS SHALL HAVE APPROPRIATE SIMPSON POST CAPS AND BASE CONNECTORS INSTALLED GOOD FOR AT LEAST 900 POUNDS UP TO 1000 POUNDS. POSTS SHALL NOT EXCEED 10' IN LENGTH. USE A 1" STANDOFF BASE WHERE POSTS ARE INSTALLED ON CONCRETE PIER OR FOOTINGS.
- HOLDOWNS: SEE THE METAL HOLDOWN SCHEDULE ON SHEET S1.1 AND DETAIL 4/S3.1 FOR ADDITIONAL INFORMATION. PROVIDE HOLDOWNS AS NOTED ON THE DRAWINGS. RIM JOIST VERSIONS OF STRAIGHT METAL HOLDOWNS LOCATED AT RIM JOIST FOR FLAT OR METAL FLOOR DECKS. USE AN ALTERNATE METAL HOLDOWN STAMP AS NOTED IN THE COMMENTS COLUMN OF THE METAL HOLDOWN SCHEDULE.
- METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE DRAWINGS. SEE THE METAL CONNECTOR SCHEDULE ON SHEET S1.1 FOR ADDITIONAL INFORMATION.
- Poison Soil for Termite Control as per Local Code Requirements

NOTES TO FLOOR PLAN:

- SEE GENERAL NOTES, SCHEDULES, AND DETAILS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS. THIS PLAN IS TO BE WORKED ALONG WITH THESE OTHER SUPPORTING SHEETS. THE OWNER AND CONTRACTOR SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- WALLS: 2x4 WALLS ARE SHOWN WITH A 3 1/2" THICKNESS AND 2x6 WALLS ARE SHOWN WITH A 5 1/2" THICKNESS. ALL BEARING, SHEAR, AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
- SHAFAR WALLS: SEE THE SHAFAR WALL SCHEDULE FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS SHALL BE SW1 TYPE SHEAR WALL UNLESS NOTED OTHERWISE. TO HELP DESIGN A SEISMIC SHEAR WALL, SHEAR WALLS SHALL BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEET S3.1, U.N.O. WALLS NOTED AS 'BRACED WALLS' SHALL BE A SW1 SHEAR WALL TYPE.
- BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL CONSIST OF FULL HEIGHT STUD FRAMING AND BE ATTACHED AT THE TOP AND BOTTOM AS NOTED. METHODS SHOWN IN THE DETAILS ON SHEET S3.1, U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE DRAWING, SEE THE WOOD BEAM HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. TO HELP DESIGN A SHEAR HEADER, SEE THE WOOD BEAM/HEADER SCHEDULE FOR SPANS UP TO 5'-2" THAT ARE NOTED OTHERWISE ON THE PLANS.
- METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE DRAWINGS. SEE THE METAL CONNECTOR SCHEDULE ON SHEET S1.1 FOR ADDITIONAL INFORMATION.
- TRUSS FABRICATION: IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE FRAMES AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILINGS, RAISED CEILINGS, ETC.), NOTIFY THE DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
- TRUSS RAFTER AND ROOF FRAMING: ALL TRUSSES AND RAFTERS SHALL BE DESIGNED TO BEARING LOADS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEET S1.1. IN THE ROOF OVERBUILD AREA, PROVIDE OVERBUILD TRUSSES OR STICK FRAME.
- TRUSS DRAG STRUTS: TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 PLF MIN. IN-PLANE HORIZONTAL SEISMIC LOAD APPLIED AT THE TRUSS TOR CHORD UNLESS NOTED OTHERWISE.
- PROVIDE ATTIC VENTILATION AND ATTIC ACCESS AS PER LOCAL CODE
- PROVIDE 5/8" TYPE IX FIRE RATED GYPSUM BOARD AT AREAS AS REQUIRED BY LOCAL FIRE CODE.
- WINDOW FRAMING: ALL OPENABLE WINDOWS THAT HAVE A WINDOW SILL LOCATED MORE THAN 72" ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW SHALL BE PLACED SO THAT THE WINDOW SILL IS AT LEAST 24" ABOVE THE INTERIOR FINISHED GRADE OR SHALL HAVE A WINDOW GUARD PROVIDED AS PER CODE. INDOOR USE FOR EGRESS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISHED FLOOR.
- PROVIDE R-13 INSULATION MINIMUM IN 2x6 EXTERIOR WALLS, AND R-19 INSULATION MINIMUM IN 2x6 EXTERIOR WALLS. PROVIDE R-38 INSULATION MINIMUM AT ALL INTERIOR TRUSS ATTIC SPACES AND RAFTER FRAMING.

ENGINEER'S STAMP PERTAINS TO STRUCTURAL INFORMATION ONLY



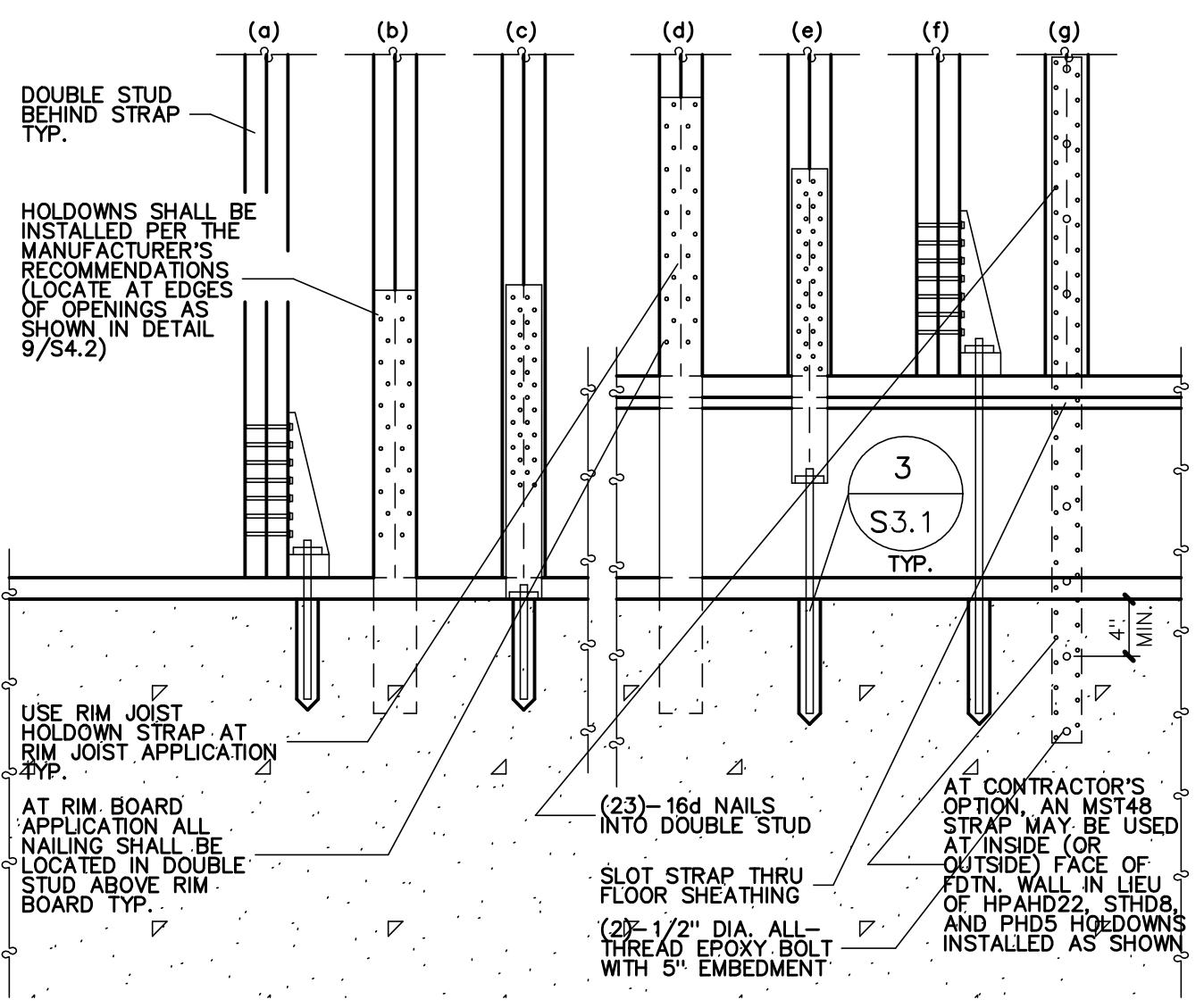
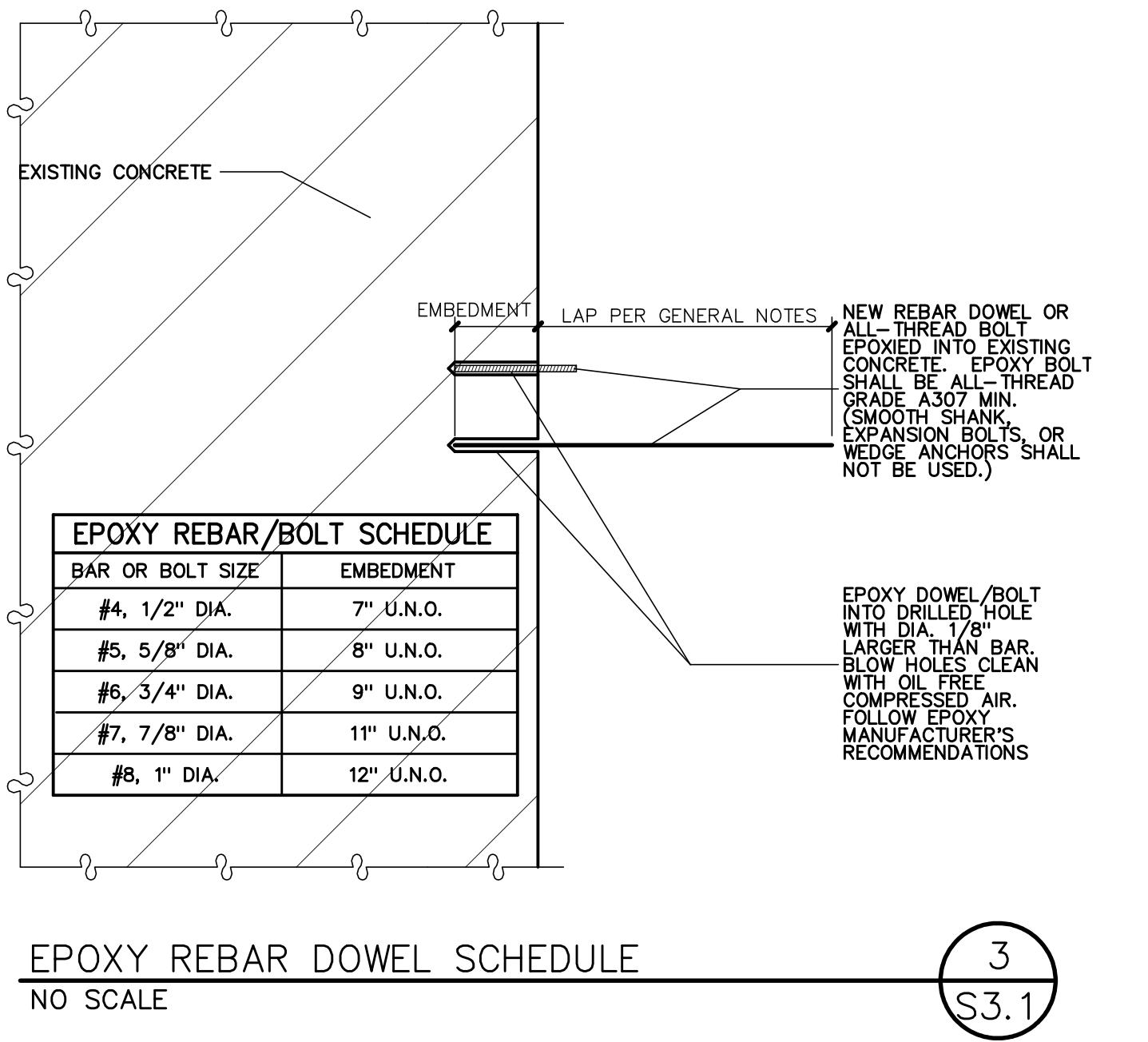
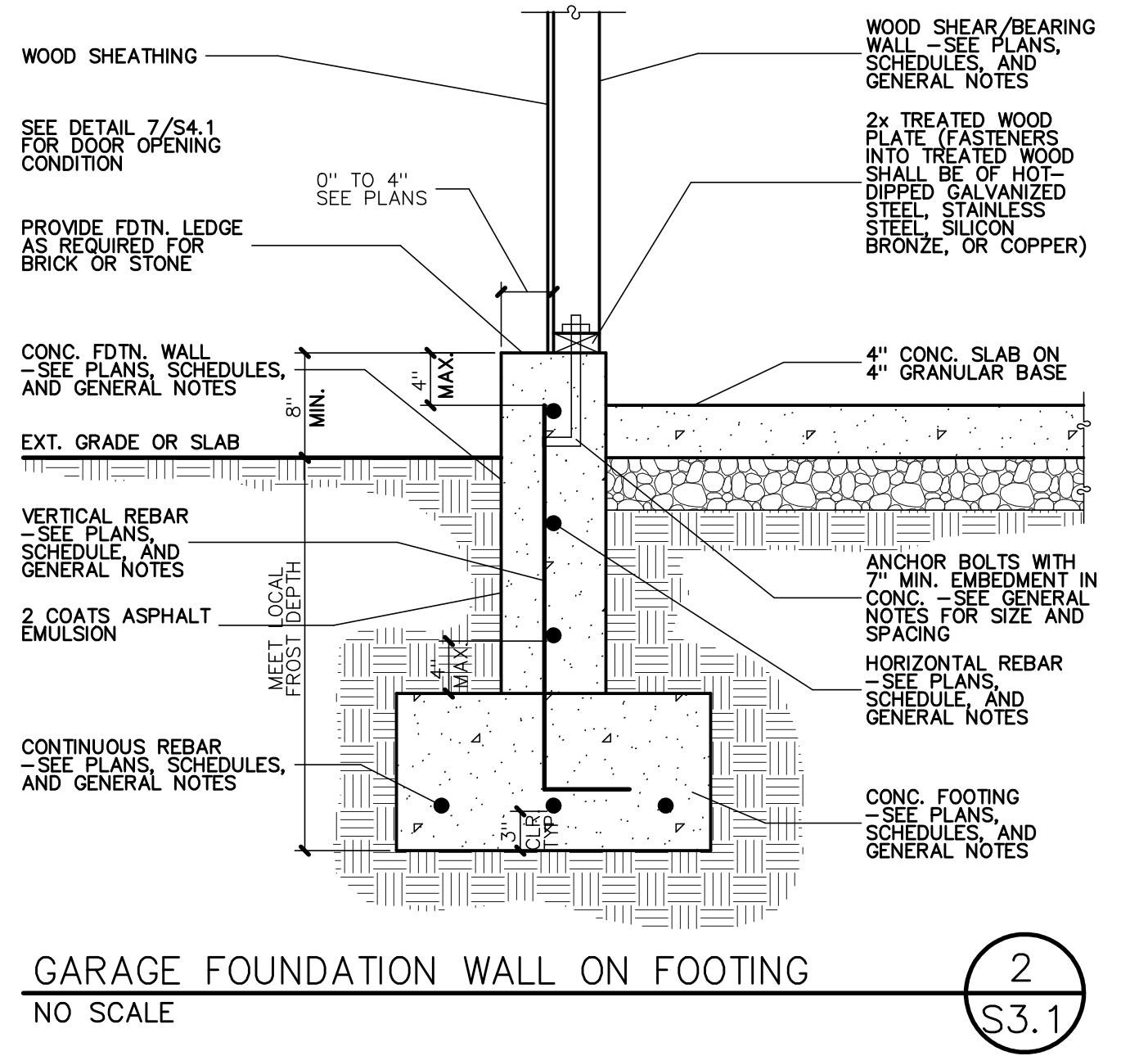
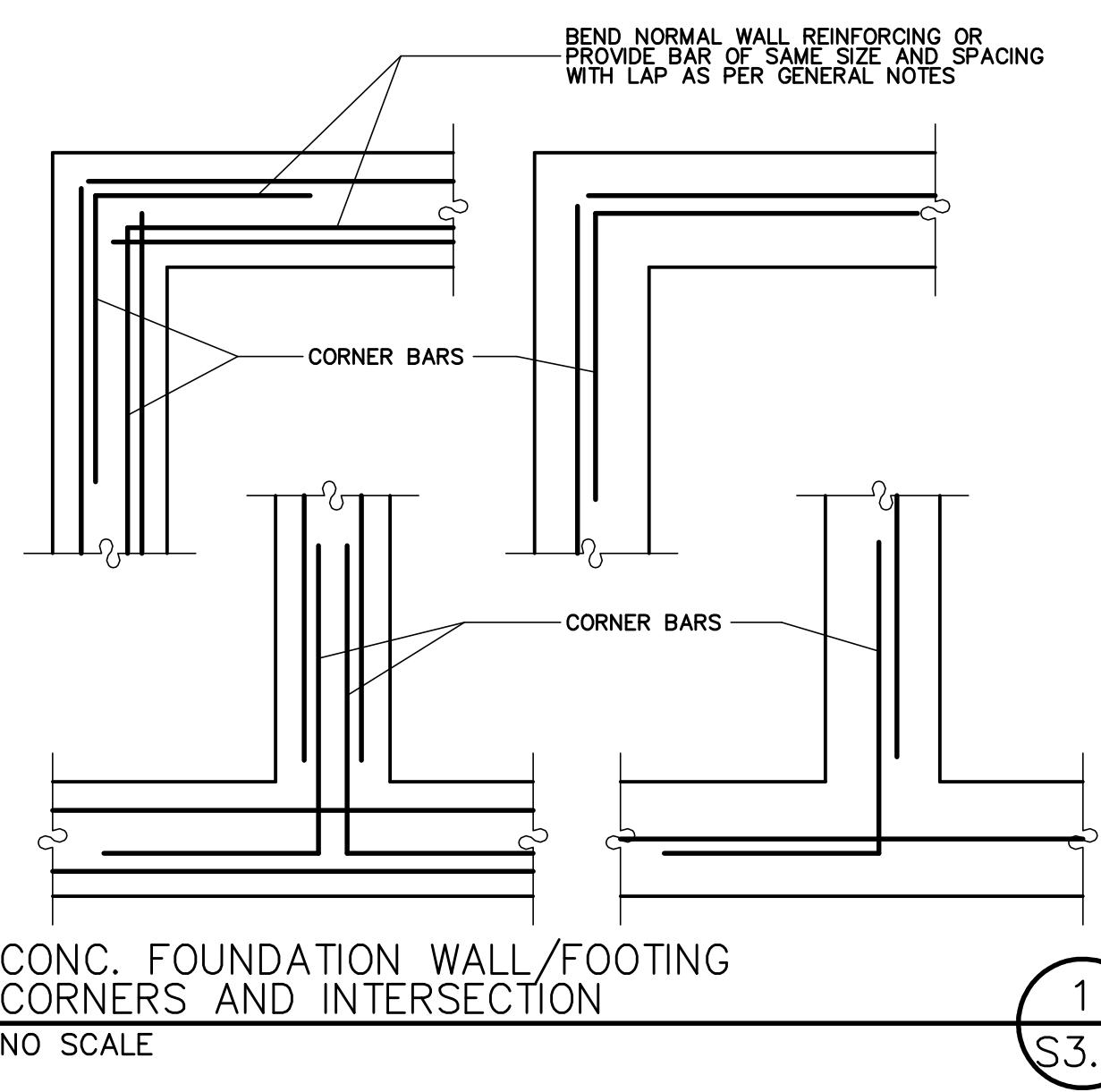
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LOT #: _____
 ADDRESS: 2210 JEFFERSON
 CITY: OGDEN STATE: UTAH
 JOB INFO: 16108 CHANGES TO 0484181106, #18122

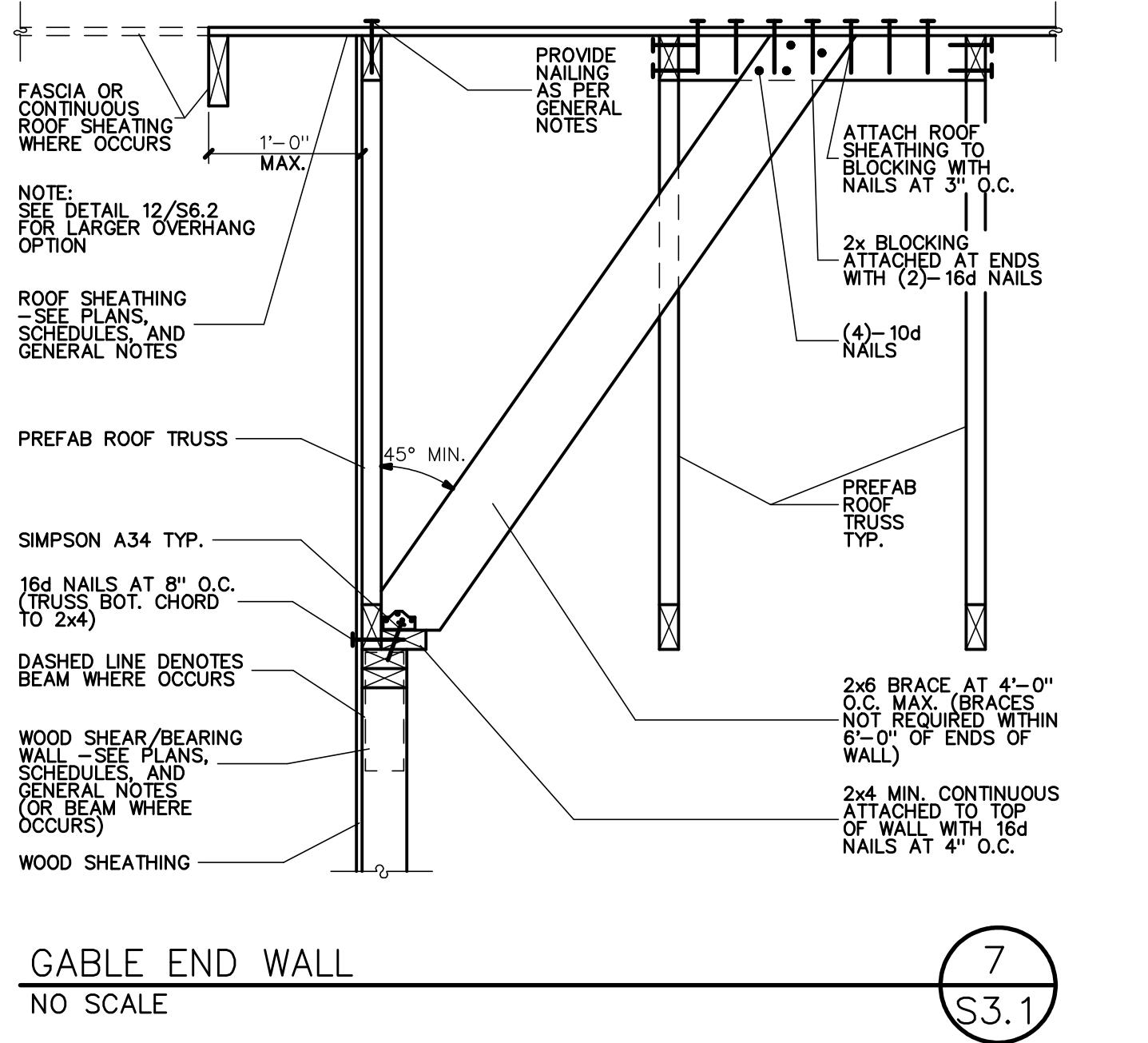
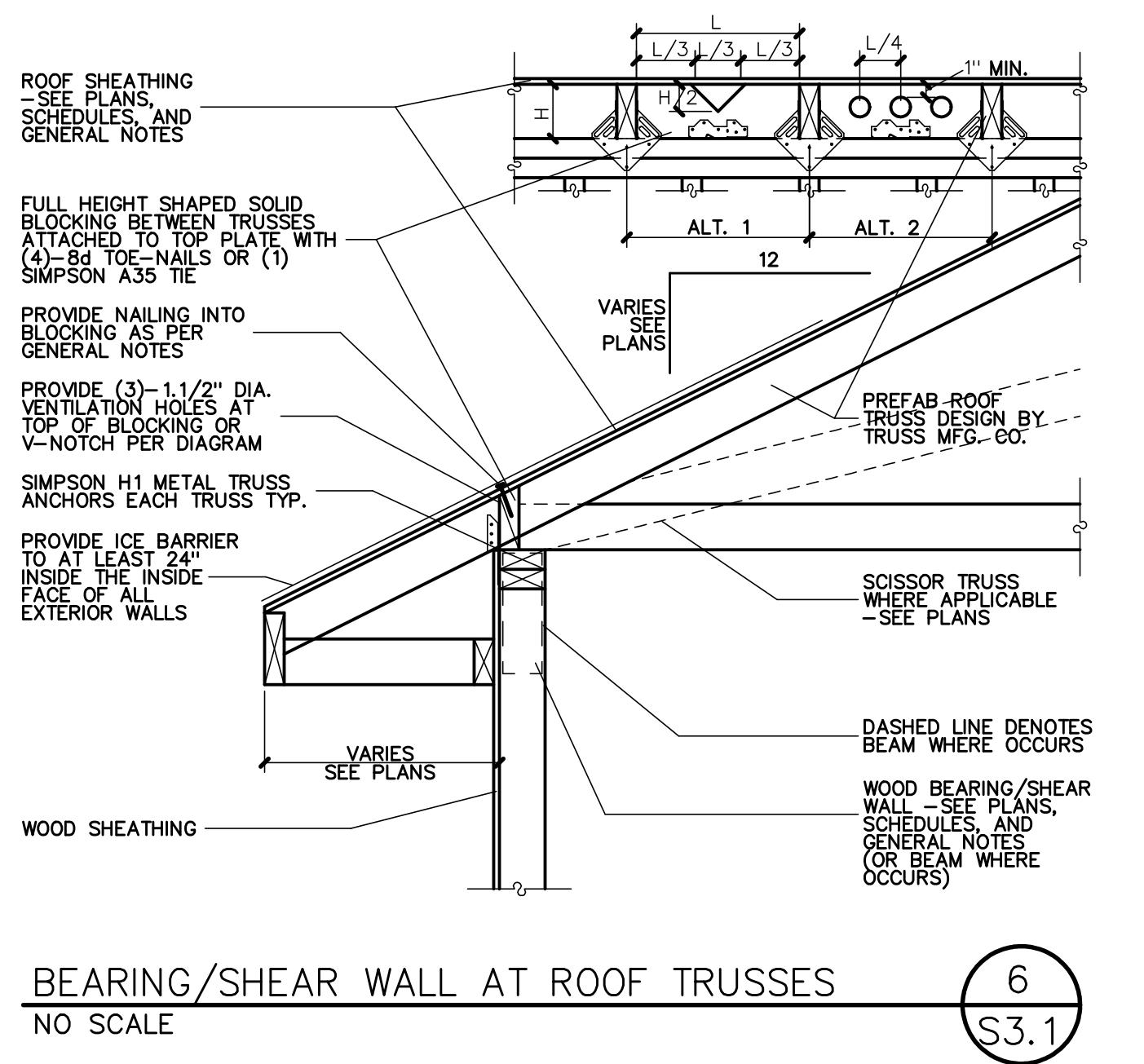
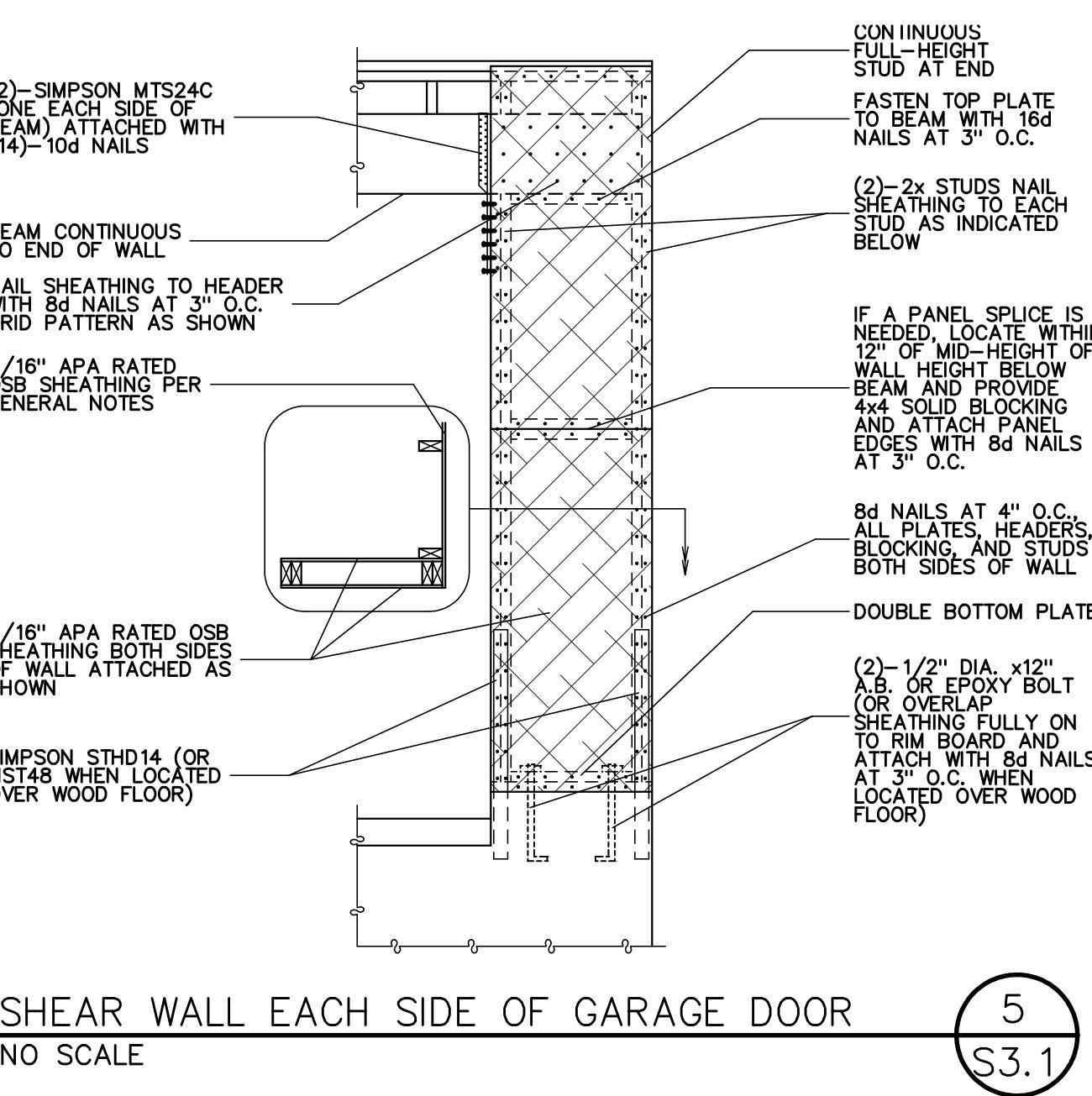
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CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS. READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.



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304 WEST PLEASANT VIEW DR
OGDEN, UTAH 84414
PHONE: (801)-782-0484
FAX: (801)-782-8631

30 

DETAILS

SHEET
TITLE:
DATE: 12/18/2019

31
33

2/18/2019 5:33

NOTE: ALL DETAILS SHOWN ON THIS SHEET ARE NOT NECESSARILY USED ON THIS JOB -- SEE SHEETS S1.1 THRU S3.2 FOR REFERENCES TO DETAILS

THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED WITH THE ASSUMPTION THAT THE CONTRACTOR WILL HAVE A THOROUGH KNOWLEDGE OF THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION. ACCORDINGLY, THESE DRAWINGS AND SPECIFICATIONS DO NOT DESCRIBE ALL MATERIALS, METHODS, CONNECTIONS AND OTHER INFORMATION NECESSARY FOR THE PROPER AND EFFICIENT CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND SUPPLYING THE MATERIALS, METHODS, CONNECTIONS AND OTHER INFORMATION NECESSARY FOR THE PROPER AND EFFICIENT CONSTRUCTION OF THE PROJECT. IF THE CONTRACTOR DISCOVERS OR SUSPECTS ANY ERRORS, OMISSIONS OR DEFECTS IN THE DRAWING AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE SIGNER OF SUCH ERROR, OMISSION OR DEFECT IN WRITING.

CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS, READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

2/18/2019 5:33

Ogden City - 2210 Jefferson - Detached Garage (chg to 0484181106, #18122)

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PLOT DATE/TIME: 12/18/2019 5:33

2343 Quincy Ave Cost Breakdown

LINE	DIV.		COST
1	1	Building Permits	5,000.00
2	1	Bond	
3	1	Builders Risk Insurance	
4	2	Engineering (Property Survey)	
5	2	Demolition	
6	2	SWPPP	
7	2	Temporary Utilities	
8	2	Grading & Excavation	
9	2	Utility Connections	
10	2	Gravel, Sand & Road Base	
11	2	Other Site Work (specify)	
12	2	Footings Concrete	
13	2	Foundations Concrete	
14	2	Steel	
15	2	Termite Treatment	
16	3	Flatwork Concrete - Interior	
17	3	Flatwork Concrete - Exterior	
18	4	Framing Materials	
19	4	Framing Labor	
20	5	Windows & Glazing	
21	6	Exterior Doors & Hardware	
22	6	Interior Doors & Hardware	
23	6	Garage Door (w/ opener)	
24	7	Roofing Materials	
25	7	Roofing Labor	
26	8	Rain Gutters & Flashing	
27	8	Siding	
28	9	Stucco / Masonary	
29	9	Electrical	
30	10	Electrical / Light Fixtures	1,500.00
31	10	Plumbing	
32	11	Plumbing Fixtures	
33	12	HVAC	
34	13	Insulation	
35	14	Drywall	
36	15	Painting	
37	15	Vinyl Flooring	
38	15	Carpet	
39	16	Ceramic Tile / Cultured Marble	
40	17	Counter Tops	
41	18	Cabinets & Vanities	
42	19	Mirrors & Glasswork	
43	20	Appliances	1,500.00
44	21	Finish Material	
45	21	Finish Labor	
46	22	Final Grading	
47	23	Fencing & Landscaping	
48	24	Plaster Foundation	
49	25	Site Clean Up	
50	25	Interior Final Cleaning	
51	26	Miscellaneous	
		Subtotal	
		Builder's Overhead & Profit	
		Total	